

DUPONT HIGHWAY (U.S. RTE. 13)
(RIGHT OF WAY WIDTH VARIES)

SITE DATA

- OWNER OF RECORD: DELAWARE TECHNICAL & COMMUNITY COLLEGE
100 CAMPUS DRIVE
DOVER, DE 19904
(302) 857-1831
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC.
309 SOUTH GOVERNORS AVENUE
DOVER, DE 19904
(302) 734-7950
- PROPERTY MAP NUMBER: ED-05-05701-0700-00001
- ZONING CLASSIFICATION: EXISTING: INSTITUTIONAL AND OFFICE (IO) / (CITY OF DOVER)
PROPOSED: INSTITUTIONAL AND OFFICE (IO) / (CITY OF DOVER)
- DEED SUMMARY: T-0050-0293
- PRESENT USE: INSTITUTIONAL
- PROPOSED USE: INSTITUTIONAL
- TOTAL SITE AREA: N/A
- IMPERVIOUS COVERAGE: EXISTING: N/A
PROPOSED: UNCHANGED
TOTAL: UNCHANGED
- SURVEY BENCHMARK: VERTICAL: NAVD-88
HORIZONTAL: HORIZONTAL CONTROL DERIVED FROM MULTIPLE POINTS
- TOTAL DISTURBED AREA: 34,234 S.F. ± (0.79 ACRES ±)

GENERAL NOTES :

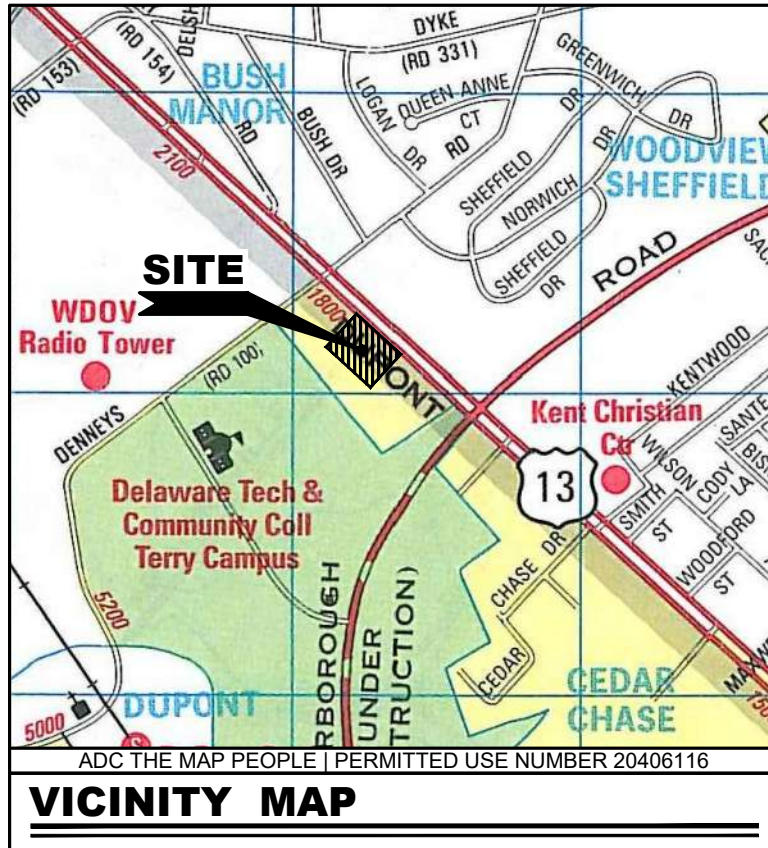
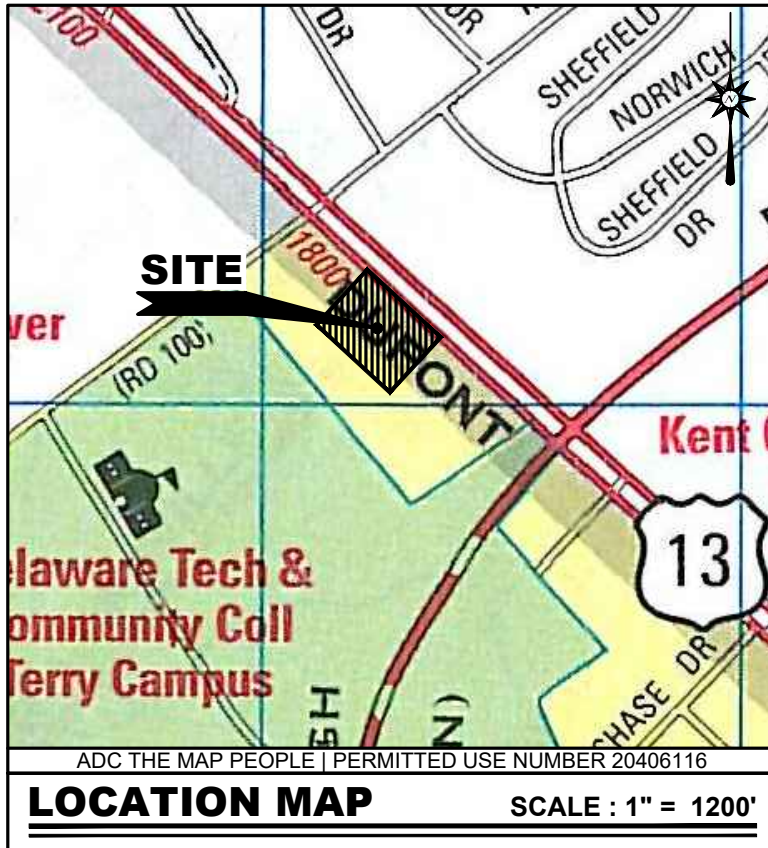
- TOPOGRAPHIC SURVEY DATA SHOWN HEREON WAS PREPARED BY BECKER MORGAN GROUP, DOVER, DE, IN MAY 2011. VERTICAL DATUM IS BASED ON NAVD 88. HORIZONTAL DATUM IS BASED ON DELAWARE STATE PLANE NAD 83, GPS DERIVED FROM N.G.S. HORIZONTAL CONTROL MONUMENTS.
- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELMARVA (1-800-282-8555) AS WELL AND CONSULT WITH A PRIVATE UTILITY LOCATOR TO VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF ANY CONSTRUCTION. ANY DAMAGE INCURRED TO ANY UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR RELIES ON THE UTILITY LOCATIONS SHOWN HEREON, HE DOES SO AT HIS OWN RISK AND WILL NOT BE ENTITLED TO ADDITIONAL COMPENSATION DUE TO TIME DELAYS FROM SAID RELIANCE.
- THIS AREA OF DEVELOPMENT IS NOT IMPACTED BY THE 100-YEAR FLOOD PLAN AS SHOWN ON FIRM 10001G0458H.
- BECKER MORGAN GROUP CERTIFIES THAT THERE ARE NO FRESH WATER WETLANDS LOCATED WITHIN THE IMPROVED AREA.
- ALL ROADS, PARKING AND OTHER PAVED AREAS WILL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
- DELAWARE REGULATIONS PROHIBIT THE BURIAL OF CONSTRUCTION DEMOLITION DEBRIS, INCLUDING TREES AND STUMPS ON CONSTRUCTION SITES. ANY SOLID WASTE FOUND DURING EXCAVATION MUST BE REMOVED AND PROPERLY DISCARDED.
- ALL HANDICAPPED PARKING DEMARCATION, STALLS, AND BUILDING ACCESSIBLE ROUTES SHALL COMPLY WITH THE "AMERICAN WITH DISABILITIES ACT".
- THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENT FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.
- BEFORE THE CONTRACTOR CAN BEGIN CONSTRUCTION HE MUST OBTAIN THE PROPER PERMITS AND/OR APPROVALS FROM THE CITY OF DOVER (C.O.D.), DNREC AND APPROPRIATE STATE AND COUNTY AGENCIES.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE CITY OF DOVER AND THE STATE OF DELAWARE STANDARDS AND DNREC.

LEGEND

ITEM	EXISTING	PROPOSED
SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	→ EX. 10" S	→ 10" S
SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	→ EX. 10" F.M.	→ 12" F.M.
SANITARY SEWER MANHOLE (S.M.H.)	⊙	⊙
SANITARY SEWER CLEANOUT	⊙	⊙
WATER MAIN & SIZE	→ EX. 10" W	→ 12" W
FIRE HYDRANT	⊗ F.H.	⊗ F.H.
WATER VALVE (W.V.) OR METER (W.M.)	W.M. W.V.	W.M. W.V.
STORM DRAIN MANHOLE (S.D.M.H.)	⊙	⊙
STORM DRAIN LINE (CMP OR RCP)	→	→
CATCH BASIN	⊙	⊙
UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	⊙	⊙
UNDERGROUND ELECTRIC	→ U.E.	→ U.E.
UNDERGROUND TELEPHONE	→ U.T.	→ U.T.
UNDERGROUND GAS MAIN	→ EX. 2" G	→ 2" G
PAVEMENT TO BE REMOVED	N/A	⊘
CONCRETE CURB & GUTTER	⊘	⊘
CONCRETE SIDEWALK, SLAB / PAVING	⊘	⊘
IMPERVIOUS SURFACED ROAD, DRIVE OR LOT	⊘	⊘
INDIVIDUAL TREE OR BUSH	EVERGREEN DECIDUOUS	N/A
WIRE FENCE	⊘	⊘
CHAINLINK FENCE	⊘	⊘
STOCKADE FENCE	⊘	⊘
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	⊘	⊘
DRAINAGE DITCH OR SWALE	→	→
EMBANKMENT SIDESLOPES (DOWN)	→	→
CONTOUR	43.55	55
ELEVATION SPOT SHOT	43.55	25.50 T.C. 25.00 B.C.
BENCH MARK	⊙	N/A
PROPERTY OR RIGHT-OF-WAY LINE	⊘	⊘
CENTERLINE	⊘	⊘
LIGHT POLE	⊙	⊙
CONSTRUCTION NOTE	N/A	⊙

SHEET INDEX

- C-001 COVER SHEET
- C-101 EXISTING CONDITION / DEMOLITION PLAN
- C-201 SITE PLAN
- C-401 GRADING PLAN
- C-901 CONSTRUCTION DETAILS
- L-101 LANDSCAPE PLAN & DETAILS



ARCHITECTURE
ENGINEERING

Delaware

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Dover, DE 19904
302.734.7950

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100 Discovery Boulevard, Suite 102
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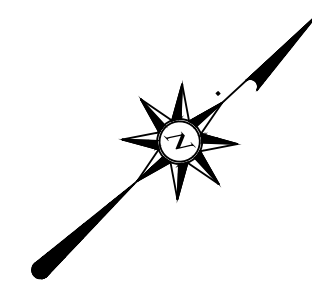
Maryland

312 West Main Street, Suite 300
Salisbury, MD 21801
410.546.9100

North Carolina

3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600

www.beckermorgan.com



PROJECT TITLE

DELAWARE
TECHNICAL
COMMUNITY
COLLEGE
NURSING
PATIO PLAN

ASSOCIATE DRIVE
CITY OF DOVER
KENT COUNTY, DE

SHEET TITLE

COVER SHEET
OVERALL SITE
PLAN

0 10 20 40
SCALE: 1" = 20'

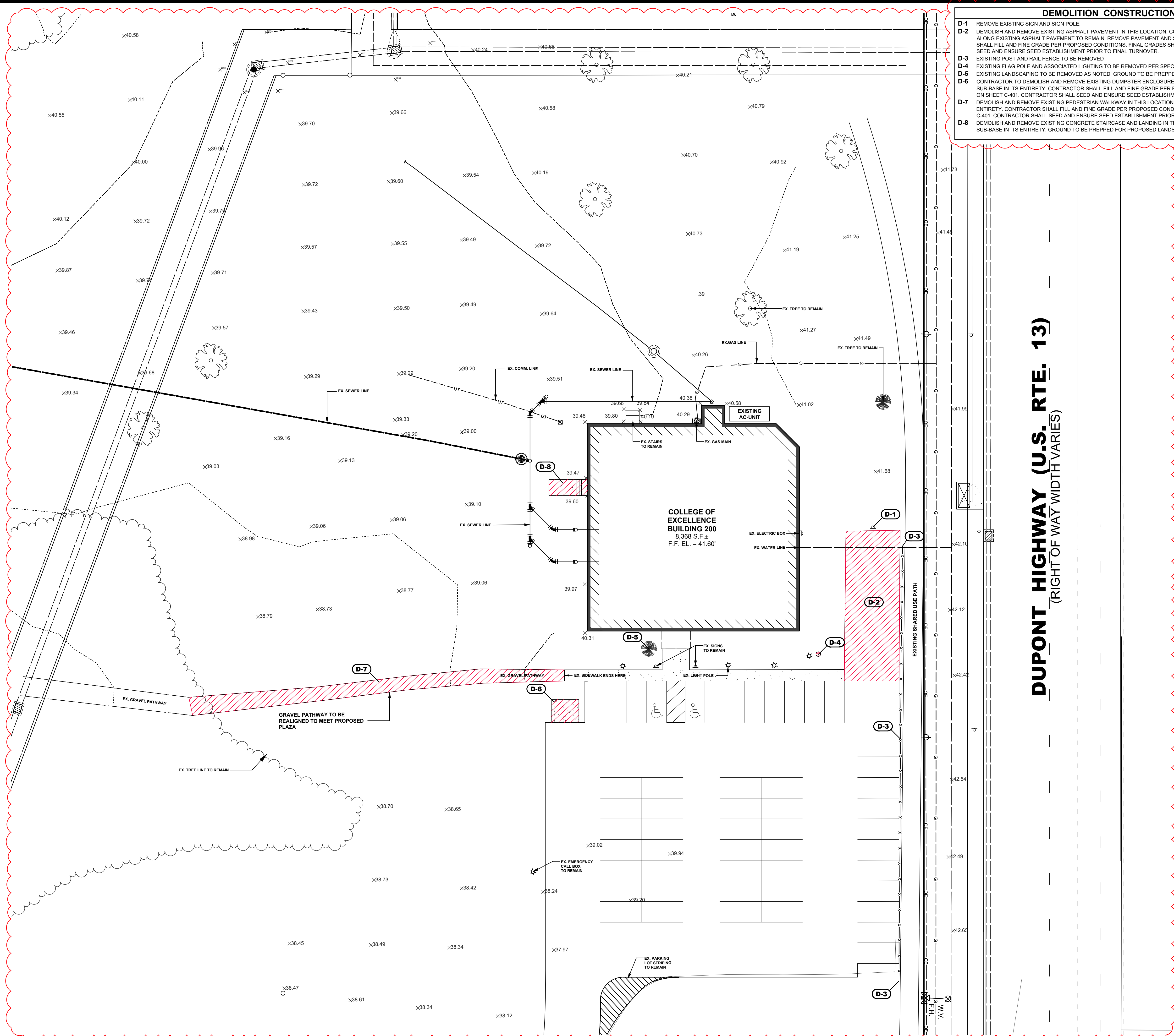
ISSUE BLOCK

NO.	DATE	DESCRIPTION
4	1/13/23	ADDENDUM #2
3	12/12/22	ISSUE FOR BID
2	11/17/22	90% CD REVIEW
1	11/07/22	AAB REVIEW SUBMISSION
MARK	DATE	DESCRIPTION
LAYER STATE: C-001		
PROJECT NO.:	2020179.00	
DATE:	06/30/2022	
SCALE:	1" = 20'	
DRAWN BY:	S.W.A	PROJ. MGR.: A.M.C.

SHEET

C-001

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- DEMOLITION CONSTRUCTION NOTES**
- D-1** REMOVE EXISTING SIGN AND SIGN POLE.
 - D-2** DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT IN THIS LOCATION. CONTRACTOR TO SAW CUT IN STRAIGHT LINE ALONG EXISTING ASPHALT PAVEMENT TO REMAIN. REMOVE PAVEMENT AND SUB-BASE IN ITS ENTIRETY. CONTRACTOR SHALL FILL AND FINE GRADE PER PROPOSED CONDITIONS. FINAL GRADES SHOWN ON SHEET C-401. CONTRACTOR SHALL SEED AND ENSURE SEED ESTABLISHMENT PRIOR TO FINAL TURNOVER.
 - D-3** EXISTING POST AND RAIL FENCE TO BE REMOVED
 - D-4** EXISTING FLAG POLE AND ASSOCIATED LIGHTING TO BE REMOVED PER SPECIFICATIONS.
 - D-5** EXISTING LANDSCAPING TO BE REMOVED AS NOTED. GROUND TO BE PREPPED FOR PROPOSED LANDSCAPING.
 - D-6** CONTRACTOR TO DEMOLISH AND REMOVE EXISTING DUMPSTER ENCLOSURE. REMOVE PAVEMENT, STRUCTURE AND SUB-BASE IN ITS ENTIRETY. CONTRACTOR SHALL FILL AND FINE GRADE PER PROPOSED CONDITIONS. FINAL GRADES SHOWN ON SHEET C-401. CONTRACTOR SHALL SEED AND ENSURE SEED ESTABLISHMENT PRIOR TO FINAL TURNOVER.
 - D-7** DEMOLISH AND REMOVE EXISTING PEDESTRIAN WALKWAY IN THIS LOCATION. REMOVE PAVEMENT AND SUB-BASE IN ITS ENTIRETY. CONTRACTOR SHALL FILL AND FINE GRADE PER PROPOSED CONDITIONS. FINAL GRADES SHOWN ON SHEET C-401. CONTRACTOR SHALL SEED AND ENSURE SEED ESTABLISHMENT PRIOR TO FINAL TURNOVER.
 - D-8** DEMOLISH AND REMOVE EXISTING CONCRETE STAIRCASE AND LANDING IN THIS LOCATION. REMOVE PAVEMENT AND SUB-BASE IN ITS ENTIRETY. GROUND TO BE PREPPED FOR PROPOSED LANDSCAPING.

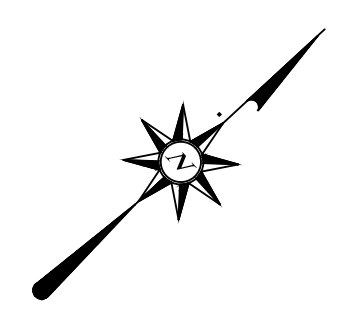
BECKER MORGAN GROUP

ARCHITECTURE ENGINEERING

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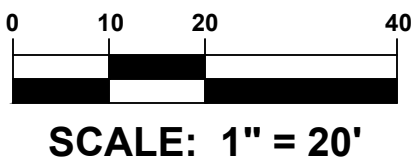
PROJECT TITLE

DELAWARE TECHNICAL COMMUNITY COLLEGE NURSING

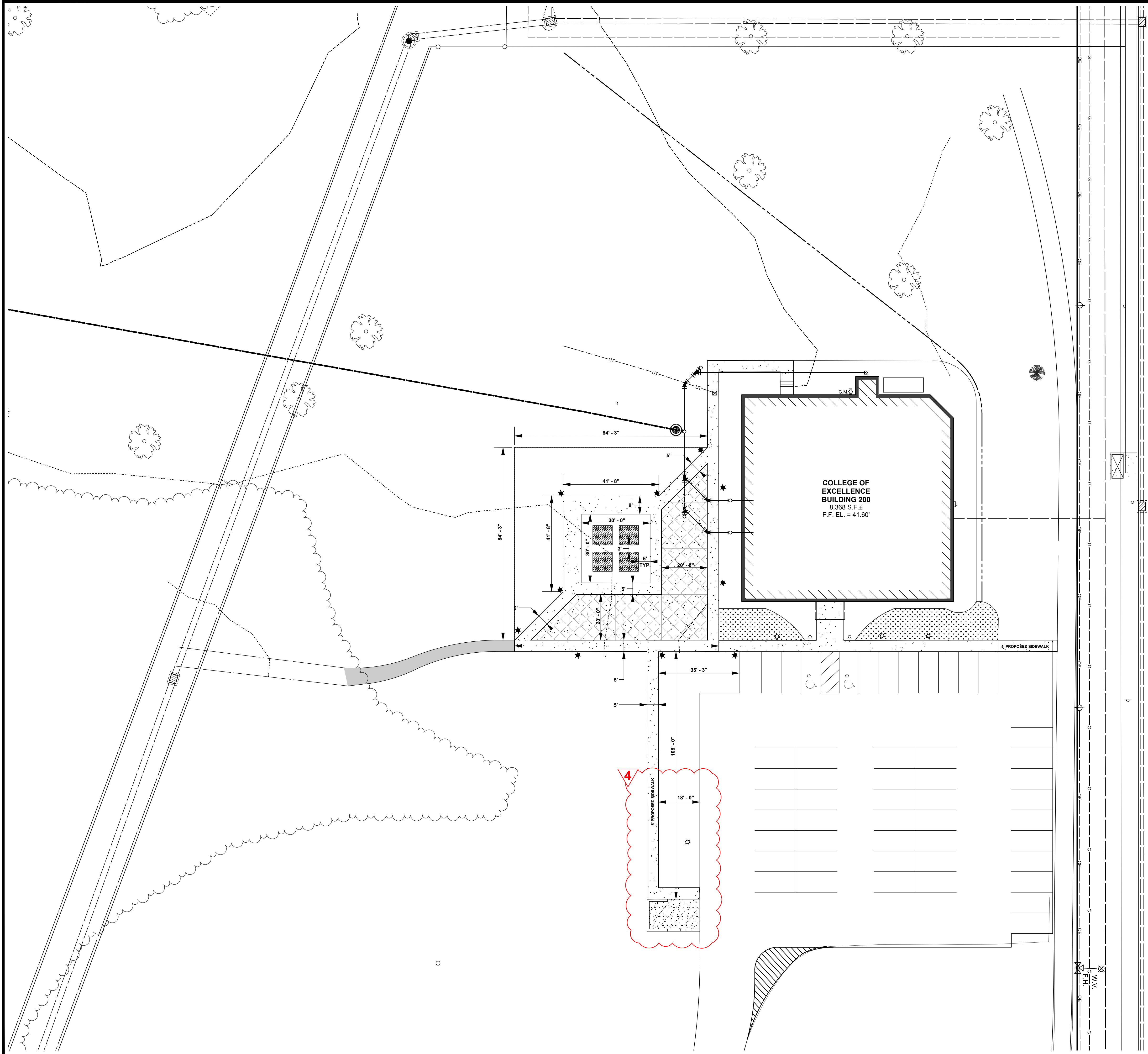
ASSOCIATE DRIVE
CITY OF DOVER
KENT COUNTY, DE

SHEET TITLE

EXISTING CONDITIONS AND DEMO PLAN



ISSUE BLOCK		
4	1/13/23	ADDENDUM #2
3	12/12/22	ISSUE FOR BID
2	10/27/22	ISSUE FOR REVIEW
1	09/08/22	ISSUE FOR REVIEW SUBMISSION
MARK	DATE	DESCRIPTION
LAYER STATE: C-101		
PROJECT NO.:		2020179.00
DATE:		06/28/2022
SCALE:		1" = 20'
DRAWN BY:		S.W.A
PROJ. MGR.:		A.M.C.
SHEET		
C-101		
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(RIGHT OF WAY WIDTH VARIES)



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PROJECT TITLE

**DELAWARE
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COLLEGE
NURSING
PATIO PLAN**

ASSOCIATE DRIVE
CITY OF DOVER
KENT COUNTY, DE

SHEET TITLE

**PROPOSED
CONDITIONS
AND LAYOUT**



ISSUE BLOCK

ISSUE	DATE	DESCRIPTION
4	1/13/23	ADDENDUM #2
3	12/12/22	ISSUE FOR BID
2	11/17/22	90% CD REVIEW
1	11/07/22	AAB REVIEW SUBMISSION

MARK DATE DESCRIPTION

PROJECT NO.: 2020179.00

DATE: 06/10/2022

SCALE: 1" = 20'

DRAWN BY: S.W.A. PROJ. MGR.: A.M.C.

SHEET

C-201

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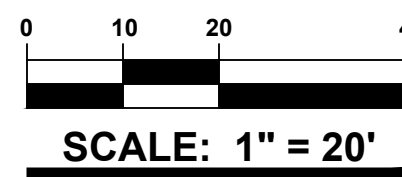
PROJECT TITLE

DELTECH HIGHMARK NURSING PATIO PLAN

ASSOCIATES DRIVE
CITY OF DOVER
KENT COUNTY, DE

SHEET TITLE

LANDSCAPE PLAN



ISSUE BLOCK

NO.	DATE	DESCRIPTION
4	1/13/23	ADDENDUM #2
3	12/12/22	ISSUE FOR BID
2	11/17/22	90% CD REVIEW
1	11/07/22	AAB REVIEW SUBMISSION

PROJECT NO.: 2020179.00

DATE: 06/10/2022

SCALE: 1" = 20'

DRAWN BY: S.W.A. / PROJ. MGR.: A.M.C.

SHEET

L-001

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GENERAL IRRIGATION NOTES :

- AREAS TO BE IRRIGATED: ALL LANDSCAPE BEDS AND SODDED LAWN TO BE IRRIGATED. LANDSCAPE CONTRACTOR SHALL DESIGN/BUILD DRIP IRRIGATION SYSTEM TO MEET LANDSCAPE REQUIREMENTS.
- MULCH: AFTER COMPLETION OF ALL PLANTING, ALL IRRIGATED NON-TURF AREAS SHALL BE COVERED WITH A MINIMUM LAYER OF FOUR (4) INCHES OF MULCH TO RETAIN WATER, INHIBIT WEED GROWTH AND MODERATE SOIL TEMPERATURE. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.
- LANDSCAPE WATER METER: A WATER METER AND BACKFLOW PREVENTION ASSEMBLY THAT ARE IN COMPLIANCE WITH STATE CODE SHALL BE INSTALLED FOR LANDSCAPE IRRIGATION SYSTEMS, AND THE LANDSCAPE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE SEPARATE FROM THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY INSTALLED FOR INDOOR USES. THE SIZE OF THE METER SHALL BE DETERMINED BASED ON IRRIGATION DEMAND.
- PRESSURE REGULATION: A PRESSURE REGULATING VALVE SHALL BE INSTALLED AND MAINTAINED BY THE CONSUMER IF THE STATIC SERVICE PRESSURE EXCEEDS 80 POUNDS PER SQUARE INCH (PSI). THE PRESSURE-REGULATING VALVE SHALL BE LOCATED BETWEEN THE LANDSCAPE WATER METER AND THE FIRST POINT OF WATER USE, OR FIRST POINT OF DIVISION IN THE PIPE, AND SHALL BE SET AT THE MANUFACTURER'S RECOMMENDED PRESSURE FOR SPRINKLERS.
- AUTOMATIC CONTROLLER: ALL IRRIGATION SYSTEMS SHALL INCLUDE AN ELECTRIC AUTOMATIC CONTROLLER WITH MULTIPLE PROGRAM AND MULTIPLE REPEAT CYCLE CAPABILITIES AND A FLEXIBLE CALENDAR PROGRAM. ALL CONTROLLERS SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN SHUT-OFF DEVICE.
- ON SLOPES EXCEEDING 30%, THE IRRIGATION SYSTEM SHALL CONSIST OF DRIP EMITTERS, BUBBLERS, OR SPRINKLERS WITH A MAXIMUM PRECIPITATION RATE OF 0.85 INCHES PER HOUR AND ADJUSTED SPRINKLER CYCLE TO ELIMINATE RUNOFF.
- EACH VALVE SHALL IRRIGATE A LANDSCAPE WITH SIMILAR SITE, SLOPE AND SOIL CONDITIONS AND PLANT MATERIALS WITH SIMILAR WATERING NEEDS. TURF AND NON-TURF AREAS SHALL BE IRRIGATED ON SEPARATE VALVES.
- DRIP EMITTERS OR A BUBBLER SHALL BE PROVIDED FOR EACH TREE WHERE PRACTICABLE. BUBBLERS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE PER DEVICE. BUBBLERS FOR TREES SHALL BE ON SEPARATE VALVE UNLESS SPECIFICALLY NOTED.
- SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATE WITH EACH CONTROL VALVE CIRCUIT.
- CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENCES WILL CAUSE LOW-HEAD DRAINAGE. PRESSURE COMPENSATING VALVES AND SPRINKLERS SHALL BE REQUIRED WHERE A SIGNIFICANT VARIATION IN WATER PRESSURE WILL OCCUR WITHIN THE IRRIGATION SYSTEM DUE TO ELEVATION DIFFERENCES.
- DRIP IRRIGATION LINES SHALL BE PLACED UNDERGROUND OR OTHERWISE PERMANENTLY COVERED, EXCEPT FOR DRIP EMITTERS AND WHERE APPROVED AS A TEMPORARY INSTALLATION. FILTERS AND END FLUSH VALVES SHALL BE PROVIDED AS NECESSARY.
- IRRIGATION ZONES WITH OVERHEAD SPRAY OR STREAM SPRINKLERS SHALL BE DESIGNED TO OPERATE BETWEEN 6:00 P.M. AND 10:00 A.M. TO REDUCE WATER LOSS FROM WIND AND EVAPORATION. THIS WOULD EXCLUDE DRIP OR BUBBLER ZONES.
- PROGRAM VALVES FOR MULTIPLE REPEAT CYCLES WHERE NECESSARY TO REDUCE RUNOFF, PARTICULARLY SLOPES AND SOILS WITH SLOW INFILTRATION RATES.

GENERAL SODDING NOTES

- GENERAL: ONLY CULTIVATED-CERTIFIED SOD SHALL BE USED. CERTIFICATION SHALL BE FROM THE DELAWARE CROP IMPROVEMENT ASSOCIATION, OR FROM MARYLAND DEPARTMENT OF AGRICULTURE.
- PREPARATION: ALL VEGETATION SHOULD BE KILLED AND THE SOD PIECE PLACED IN CONTACT WITH BASE SOIL. BASE SOIL SHALL BE FINISHED GRADED AND THE TOP 2 INCHES SHALL BE LOOSENEED. APPLY 10-15 POUNDS OF A COMPLETE FERTILIZER, SUCH AS 10-10-10, PER 1,000 SQUARE FEET OF LAWN. FOLLOW THIS WITH 50-75 POUNDS OF GROUND LIMESTONE PER 1,000 SQUARE FEET. MIX THESE WITH 1-2 INCHES OF SOIL WHEN PREPARING THE AREA FOR SODDING.
- SOD: SOD SHALL BE A MIXTURE OF TALL FESCUE AND KENTUCKY BLUEGRASS. REFER TO THE LATEST ARTICLE TT-77 RECOMMENDED TURFGRASS CULTIVARS FOR CERTIFIED SOD PRODUCTION UNIVERSITY OF MARYLAND TURFGRASS TECHNICAL UPDATE FOR APPROVED CULTIVARS.
- INSTALLATION: IF POSSIBLE, INSPECT THE SOD BEFORE DELIVERY. SOD SHOULD BE EVENLY MOIST, BUT NOT SOAKING WET. DO NOT INSTALL SOD THAT LOOKS DRIED OUT OR HAS GRASS BLADES THAT ARE TURNING YELLOW; IT SHOULD BE OF A DEEP GREEN COLOR. SOD SHOULD BE DENSE AND WELL-KNITTED SO THAT IT CAN BE CUT INTO STRIPS AND HANDLED EASILY. THE THICKNESS OF THE ROOTS AND SOIL SHOULD BE 1/2 TO 1 INCH THICK, INCLUDING SOIL, ROOTS AND THATCH. SOIL SHOULD BE LIGHTLY MOISTENED BEFORE SOD IS LAID. STAGGER THE ENDS OF EACH SOD PIECE TO MINIMIZE CRACKS AND PUSH PIECES TOGETHER FOR A FIRM FIT. LIGHTLY TAMP THE SOIL AND SPRINKLE TOPSOIL ON THE SEAMS FOR RAPID ROOTING. NEWLY INSTALLED SOD SHALL BE ROLLED INTO PLACE TO ESTABLISH GOOD SOIL CONTACT. WATER THE SOD IMMEDIATELY AFTER INSTALLATION. WATER TO MOISTEN THE SOIL BELOW, BUT DO NOT OVERWATER. DAILY WATERING MAY BE NECESSARY DURING THE ROOTING PROCESS. NEVER LET THE SOD DRY OUT DURING THE ESTABLISHMENT PERIOD.

GENERAL LANDSCAPE NOTES :

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".

EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.

ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN.

PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.

UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, DISFIGURING NOT COMPLETELY CALLED USE WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, STONES IN EXCESS OF ONE (1) INCH DIAMETER, ETC. SHALL BE USED FOR PLANTING.

MULCH FOR PLANTING BEDS SHALL BE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2", WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/ OR SPREAD OUT IN NEW SOIL MIXTURE.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED.
- LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
- AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
- NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
- NO TREE SHALL BE PLANTED CLOSER THAN TEN (10) FEET FROM ANY STRUCTURE OR BUILDING.
- NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
- ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
- TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL). SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/ OR THE LANDSCAPE ARCHITECT.
- ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.

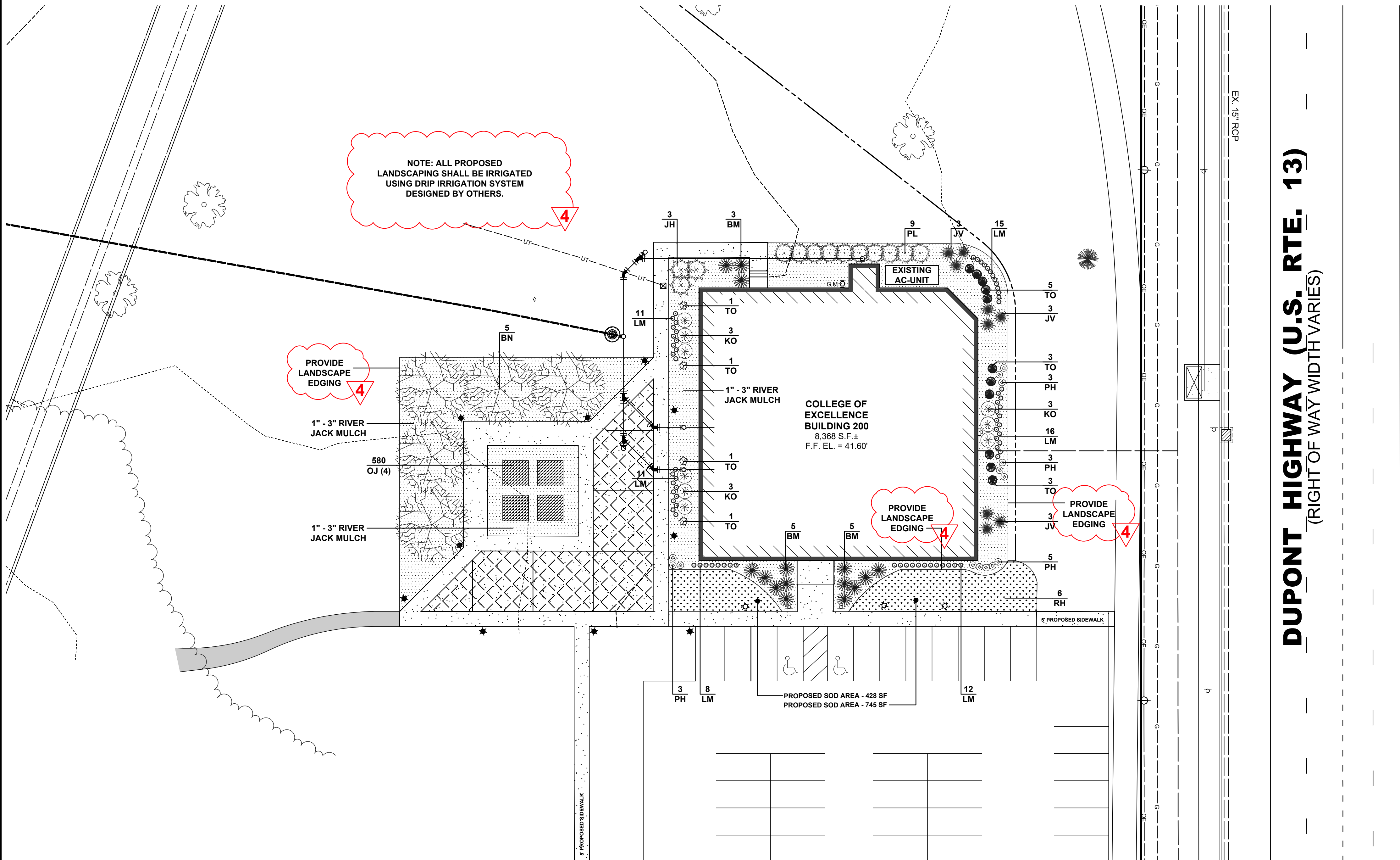
DELAWARE LANDSCAPE ARCHITECTS CERTIFICATION

I, CHAD D. CARTER, RLA, ASLA, HEREBY CERTIFY THAT I AM A LANDSCAPE ARCHITECT IN THE STATE OF DELAWARE, THAT THE LANDSCAPING INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF, REPRESENTS GOOD LANDSCAPING PRACTICES.

CHAD D. CARTER, RLA, ASLA

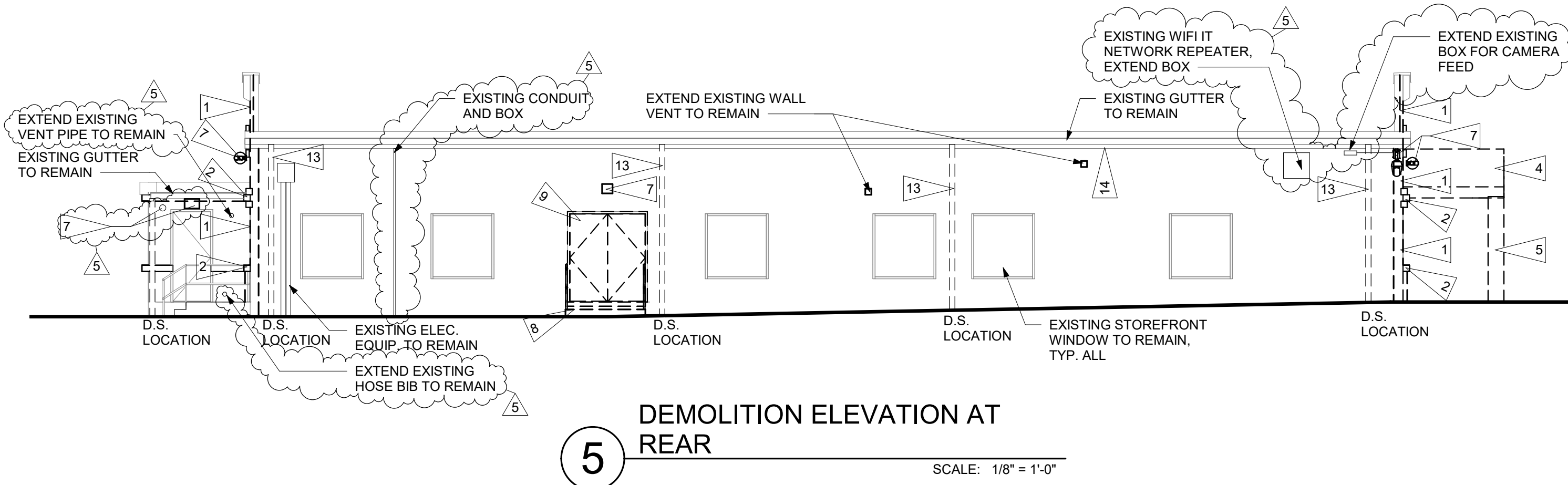
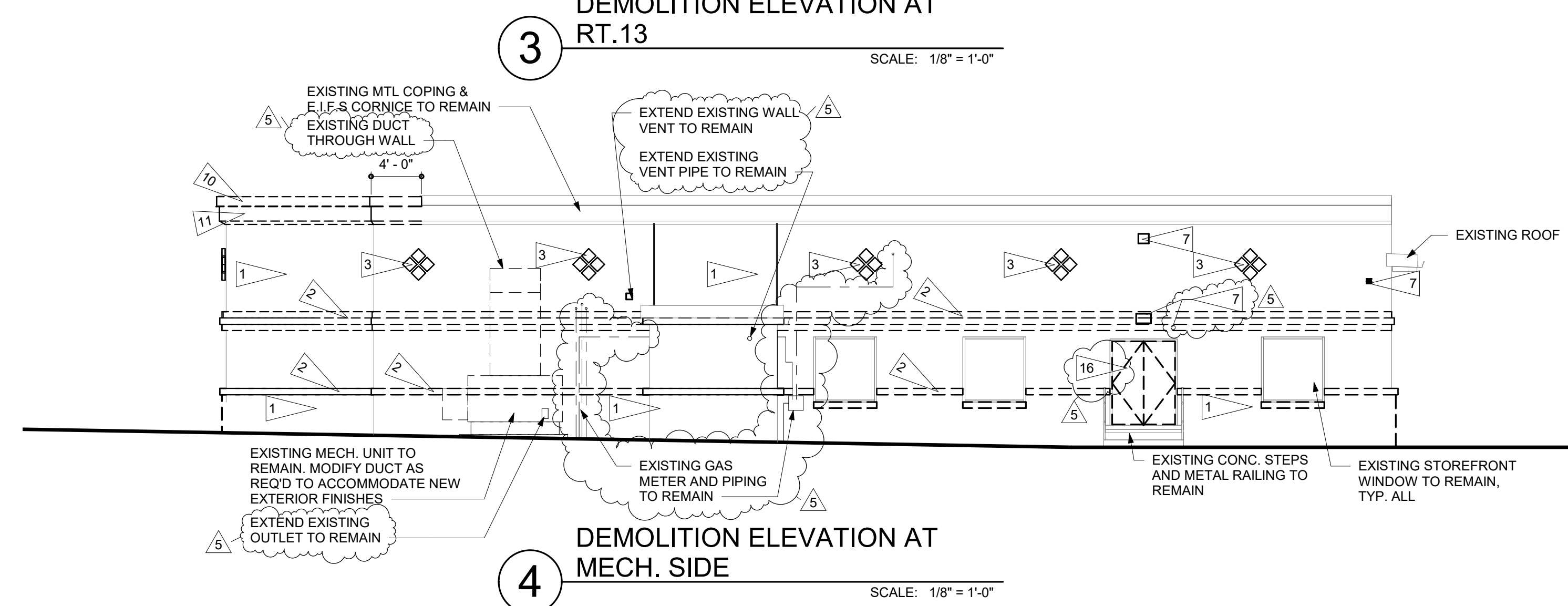
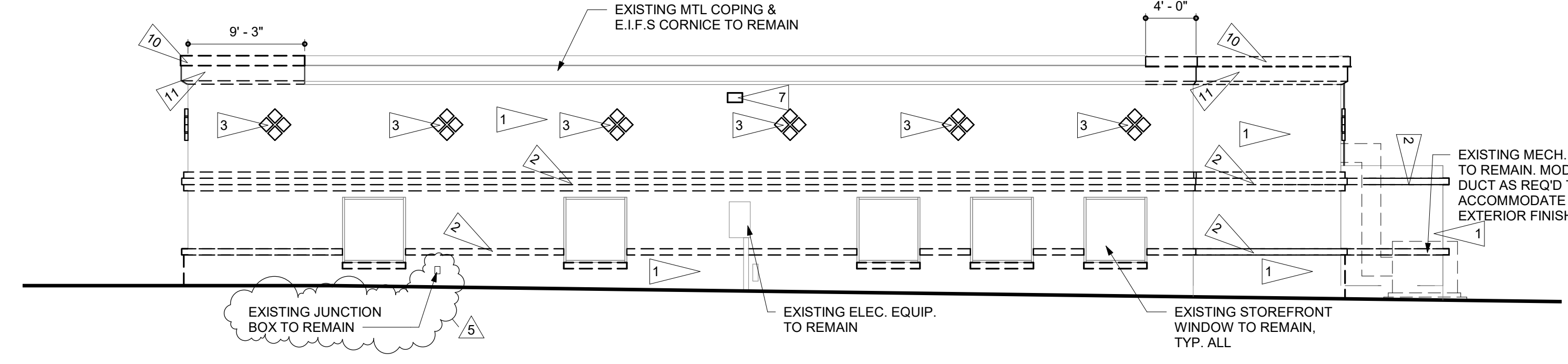
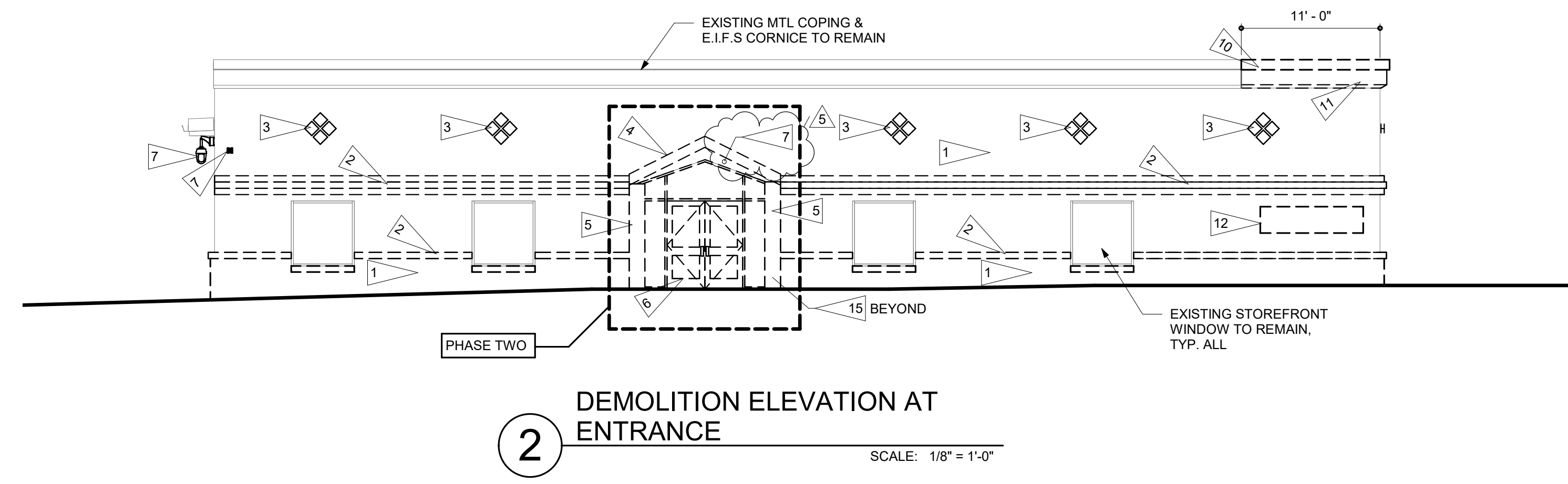
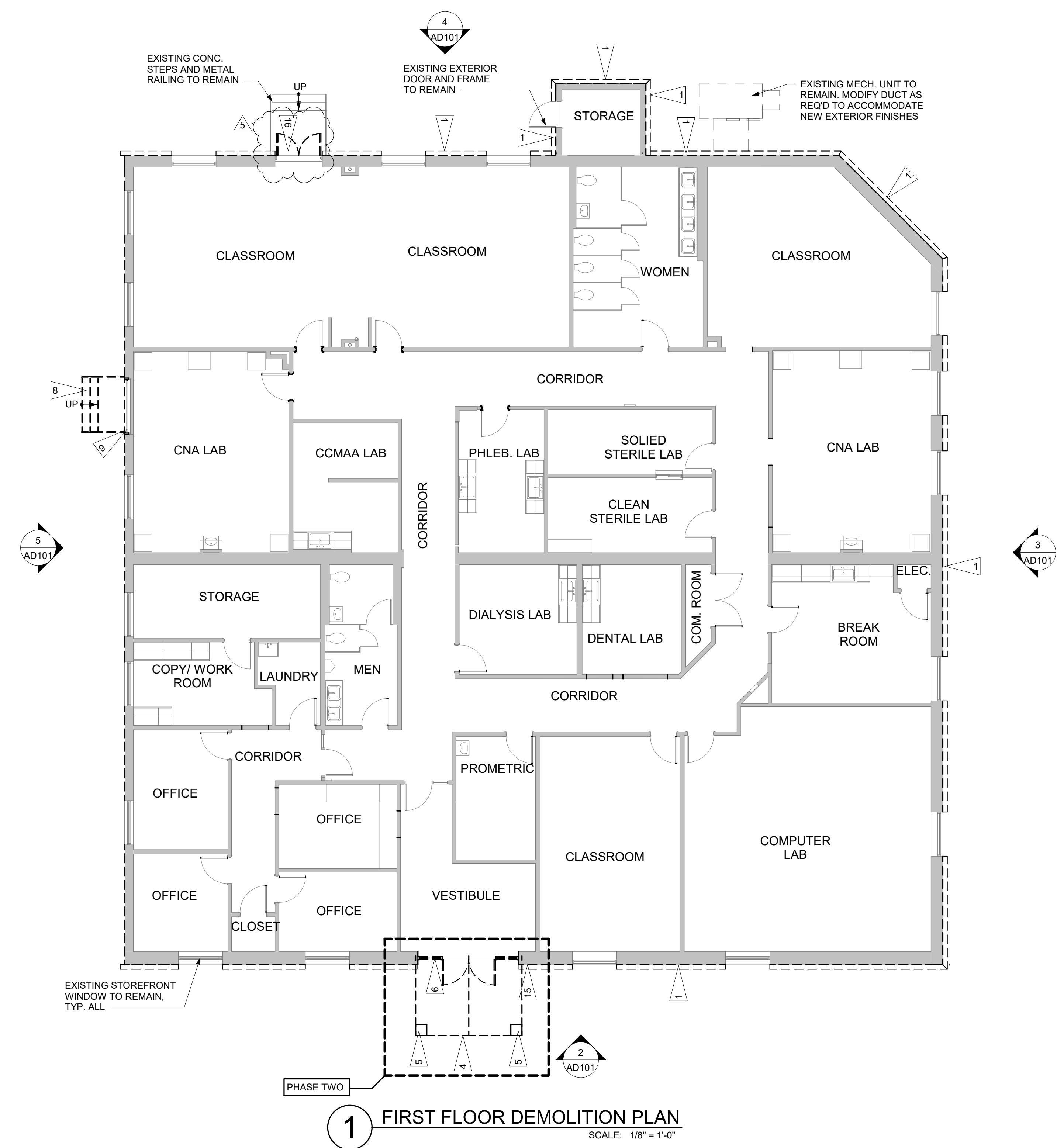
S1-499

DATE



PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
CANOPY TREES						
BN	5	BETULA NIGRA	RIVER BIRCH	2" CAL	B&B	FHV
EVERGREEN TREES						
JV	6	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	1 1/2" CAL	B&B	FHV
SHRUBS						
BM	13	BUXUS MICROPHYLLA	SPRINTER BOXWOOD	24-36"	CONT.	
JH	3	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	24-36"	CONT.	
PL	9	PRUNUS LAUROCEASUS 'NANA'	DWARF ENGLISH LAUEL	24-36"	CONT.	
TO	15	THUJA OCCIDENTALIS	GOLDEN GLOBE ARBORVITAE	24-36"	CONT.	
DECIDUOUS SHRUBS						
KO	9	ROSA X RADSNUNNY	SUNNY KNOCK OUT ROSE	24-36"	CONT.	
FLOWERS / GROUND COVER						
LM	73	LIRIOPE MUSCARI	LILY TURF	2"	BULB	18" O.C.
OJ	2312	OPHIPOGON JAPONICUS	MONDO GRASS	4 PER 1 SF	PLUG	18" O.C.
PH	14	PATRIOT HOSTA	PATRIOT HOSTA	18-24"	CONT.	
TOTAL: 11 TREES, 49 SHRUBS, 1243 GROUND COVER PLANTINGS						



GENERAL DEMOLITION NOTES

- A. PRESERVE AND PROTECT ALL INTERIOR EXISTING ELEMENTS.
- B. PRESERVE AND PROTECT EXISTING ROOFING.
- C. PRESERVE AND PROTECT ALL EXISTING STOREFRONT SYSTEMS, U.N.O.
- D. PRESERVE AND PROTECT EXISTING COPING AND CORNICE, U.N.O.
- E. FIELD VERIFY ALL EXISTING CONDITIONS.
- F. COORDINATE EXTENT OF REQUIRED DEMOLITION WITH NEW WORK, OWNER, AND OTHER TRADES.
- G. PATCH AND REPAIR SURFACES AT DEMOLISHED ITEMS TO MATCH EXISTING ADJACENT UNDAMAGED SURFACES.
- H. HAZARDOUS MATERIALS ARE NOT ANTICIPATED TO BE ENCOUNTERED. NOTIFY OWNER IMMEDIATELY IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED.
- I. EXISTING WORK OR EQUIPMENT TO REMAIN SHALL BE PROTECTED FROM DEMOLITION OPERATIONS.
- J. CONTRACTOR TO PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO ACCOMPLISH DEMOLITION ACTIVITIES AND TO MAINTAIN STRUCTURAL STABILITY UNTIL NEW WORK IS INSTALLED.
- K. CONTRACTOR SHALL DOCUMENT ALL EXISTING CONDITIONS PRIOR TO BEGINNING OF DEMOLITION TO ASSIST AND ENSURE REINSTALLATION IS CONSISTENT WITH AND MATCHING EXISTING CONDITIONS.
- L. IN ALL AREAS OF CONSTRUCTION, PROTECT ALL EXISTING STRUCTURAL COMPONENTS.
- M. ALL WORK SHALL BE PHASE ONE U.N.O.
- N. AT ALL AREAS OF EIFS REMOVAL FROM EXISTING MASONRY TO REMAIN, CLEAN, PATCH, AND REPAIR EXISTING MASONRY TO PREPARE TO RECEIVE NEW FLUID APPLIED AIR BARRIER.
- O. CAREFULLY REMOVE EXISTING ACOUSTIC CEILING TILES AS REQUIRED TO ACCOMMODATE NEW ELECTRICAL WORK, AND STORE SAFELY FOR REINSTALLATION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- P. REMOVE ALL EXISTING WALL MOUNTED DEVICES FOR REINSTALLATION AND EXTEND ALL EXISTING PENETRATIONS TO ACCOMMODATE NEW GLAZING SYSTEMS, INCLUDING BUT NOT LIMITED TO EXHAUST FAN DUCTS, ELECTRICAL BOXES, SLEEVE OR CONDUIT AND/OR PIPING, ETC.

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

DEMOLITION KEY NOTES

- 1. REMOVE EXTERIOR EIFS DOWN TO CMU. CAREFULLY CUT AND REMOVE EIFS ADJACENT TO EIFS CORNICE TO REMAIN.
- 2. REMOVE EXTERIOR EIFS WALL SWEEP AND SILLS, TYPICAL.
- 3. REMOVE EXTERIOR EIFS DETAIL.
- 4. PHASE TWO: REMOVE EXISTING METAL ROOF CANOPY AND ASSOCIATED COMPONENTS IN ITS ENTIRETY.
- 5. PHASE TWO: REMOVE EXISTING COLUMN AND ASSOCIATED COMPONENTS IN ITS ENTIRETY. GRIND EMBEDDED SUPPORTS SMOOTH AND PATCH AS REQUIRED AT EXISTING CONCRETE WALKWAY TO REMAIN.
- 6. PHASE TWO: REMOVE EXISTING STOREFRONT SYSTEM IN ITS ENTIRETY. CAREFULLY REMOVE AND STORE EXISTING ADJACENT WOOD HANDSCOT FOR REINSTALLATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- 7. REMOVE EXISTING LIGHT FIXTURES. NETWORK DEVICES AND CAMERAS SHALL BE REMOVED AND REINSTALLED BY OWNERS VENDOR. CONTRACTOR SHALL COORDINATE.
- 8. REMOVE EXISTING CONCRETE STAIR AND ASSOCIATED COMPONENTS, IN ITS ENTIRETY.
- 9. CAREFULLY REMOVE EXISTING DOOR, HARDWARE, AND EXISTING FRAME SO AS NOT TO DISTURB EXISTING INTERIOR FRAMING, INSULATION AND DRYWALL OF PREVIOUSLY INFILLED OPENING.
- 10. REMOVE PORTION OF EXISTING COPING TO ACCOMMODATE NEW WORK.
- 11. REMOVE PORTION OF EXISTING EIFS CORNICE TO ACCOMMODATE NEW WORK.
- 12. REMOVE EXISTING BUILDING SIGNAGE.
- 13. REMOVE EXISTING DOWNSPOUTS AND REPLACE WITH NEW. RECONFIGURED DOWNSPOUTS TO MATCH EXISTING GUTTERS.
- 14. REMOVE EXISTING VENTED SOFFIT AND REPLACE WITH NEW. RECONFIGURED VENTED SOFFIT TO MATCH EXISTING.
- 15. PHASE TWO: PROVIDE PARTIAL DEMOLITION OF EXISTING MASONRY AS REQUIRED TO ACCOMMODATE STRUCTURAL MODIFICATIONS AS INDICATED. SEE SHEET A102 FOR ADDITIONAL INFORMATION.
- 16. CAREFULLY REMOVE EXISTING DOOR HARDWARE AND STORE FOR REINSTALLATION, AND REMOVE THE TWO (2) EXISTING HOLLOW METAL DOOR LEAVES.



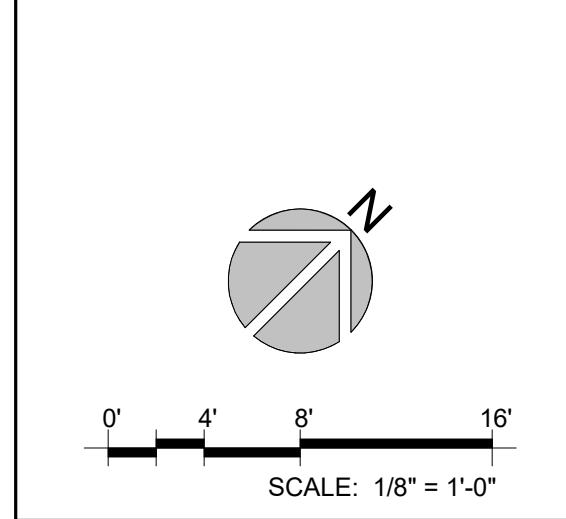
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PROJECT TITLE
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HEALTHCARE
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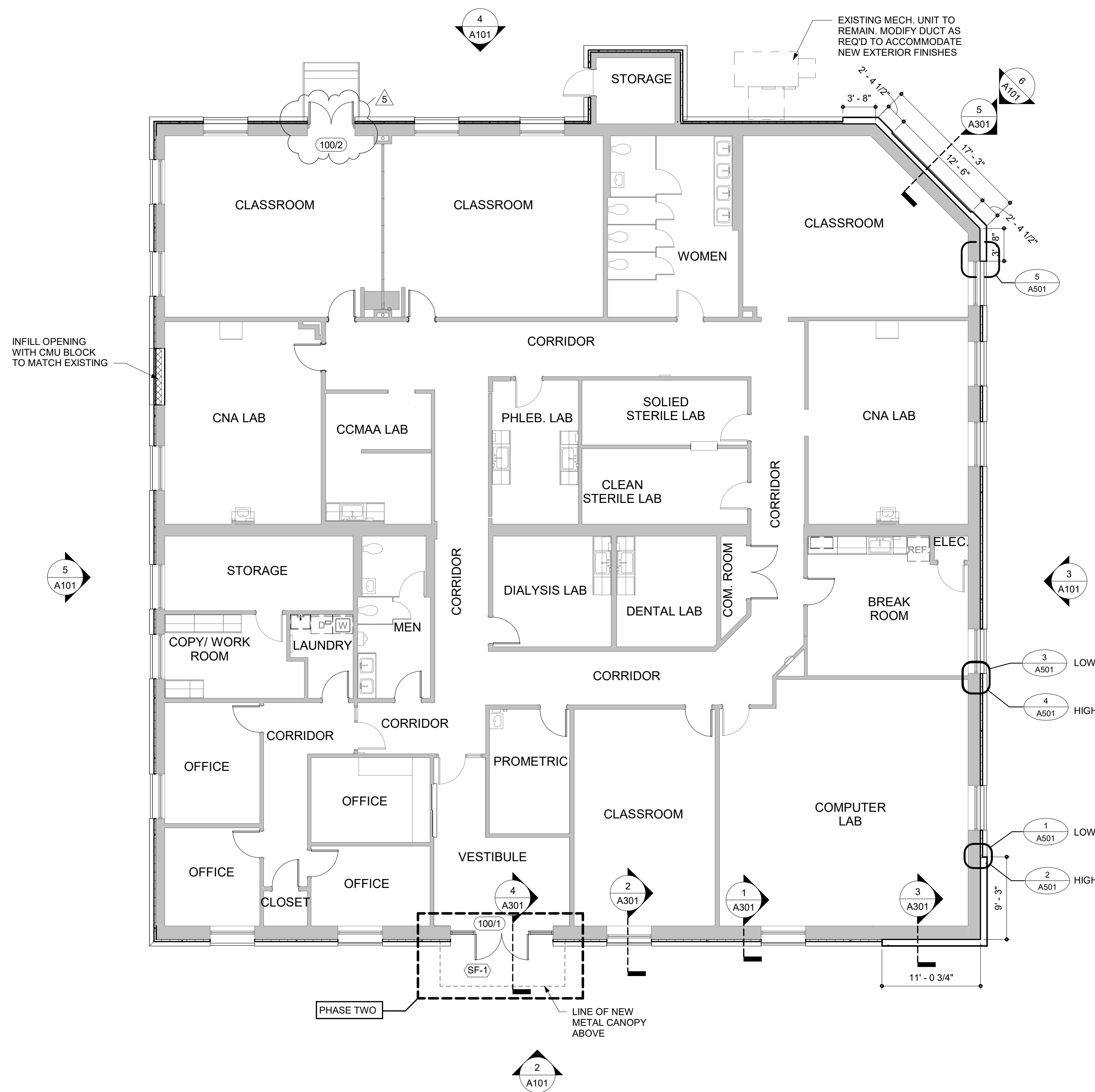
SHEET TITLE
FIRST FLOOR AND
ELEVATION
DEMOLITION PLAN



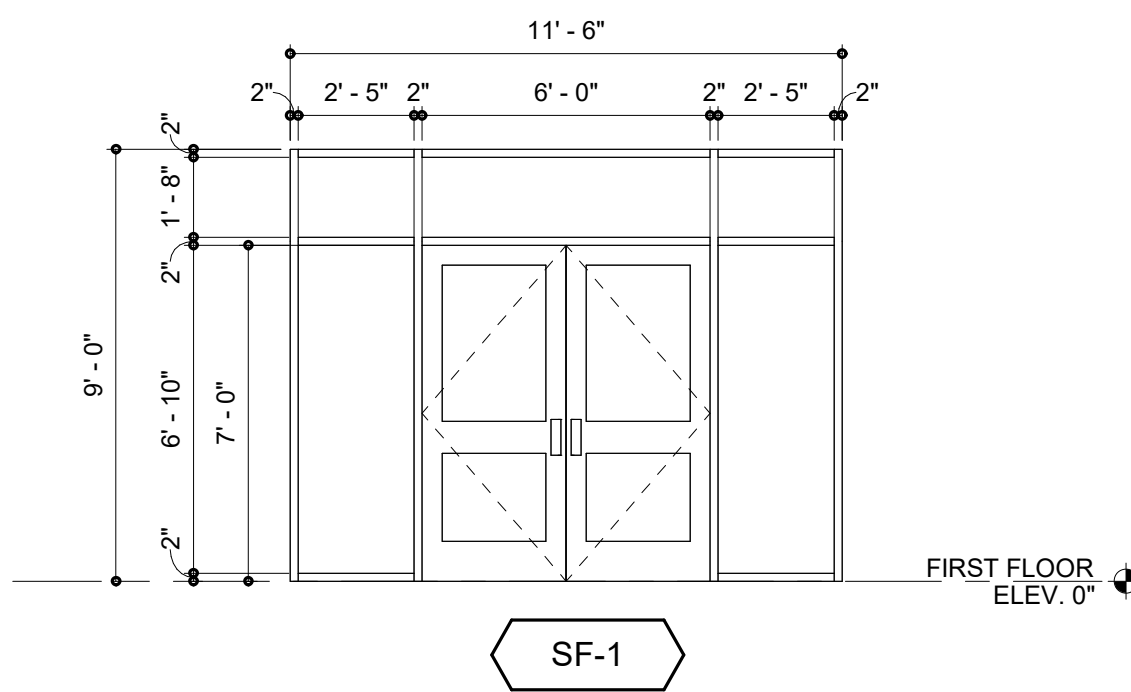
ISSUE BLOCK		
Mark	Date	Description
5	01/13/2023	ADDENDUM 02
3	12/12/2022	ISSUE FOR BID
2	11/17/2022	90% CD REVIEW
1	11/07/2022	AAB REVIEW

PROJECT NO: 2020179.00
DATE: 12/12/2022
SCALE: As indicated
DRAWN BY: INB PROJ MGR: AMC

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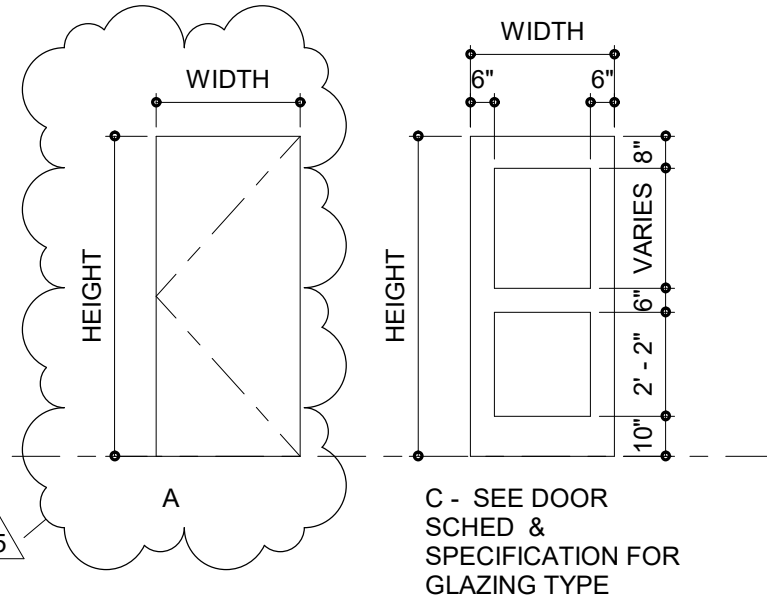


1 FIRST FLOOR NEW WORK PLAN
SCALE: 1/8" = 1'-0"

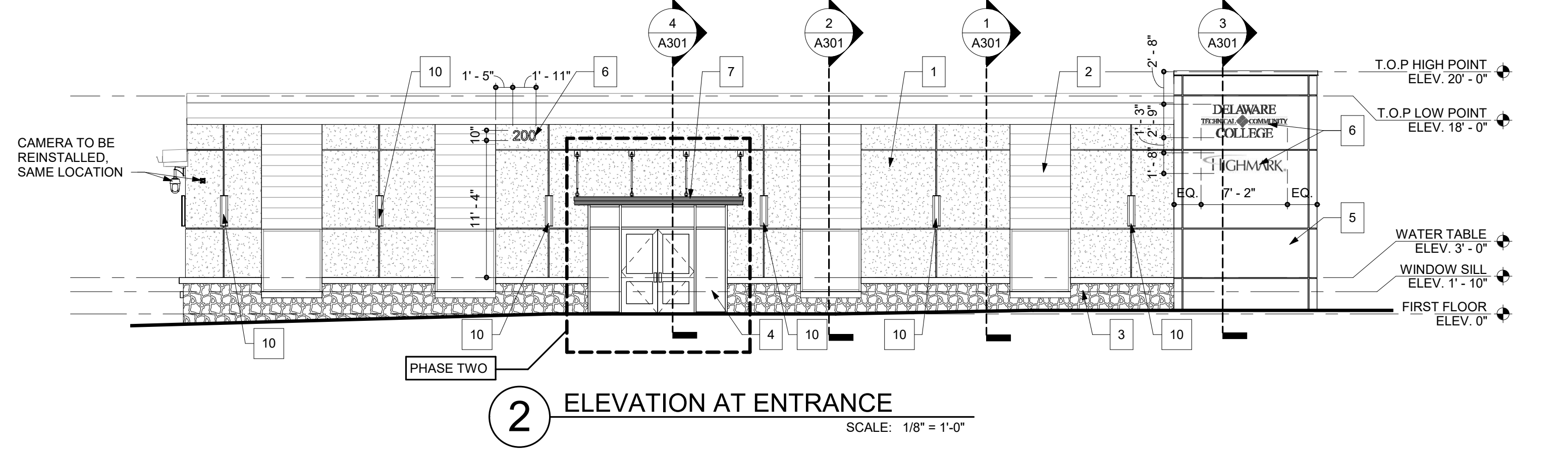


DOOR SCHEDULE														
MARK	SIZE		DOOR		FRAME		FIN	GLAZ	UNDER CUT	MATERIAL		FIN	FIRE RATING	HW SET
	WIDTH	HT	THICK	MATL	TYPE	FIN				MATL	TYPE			
FIRST FLOOR														
100/1	6'-0"	7'-0"	1 3/4"	ALUM	C	FAC	IG-1	0"	0"	ALUM	SF-1	FAC	1	EXG
100/2	5'-0"	6'-8"	1 3/4"	HM	A	PT	-	0"	0"	HM	EXG	PT	-	EXG

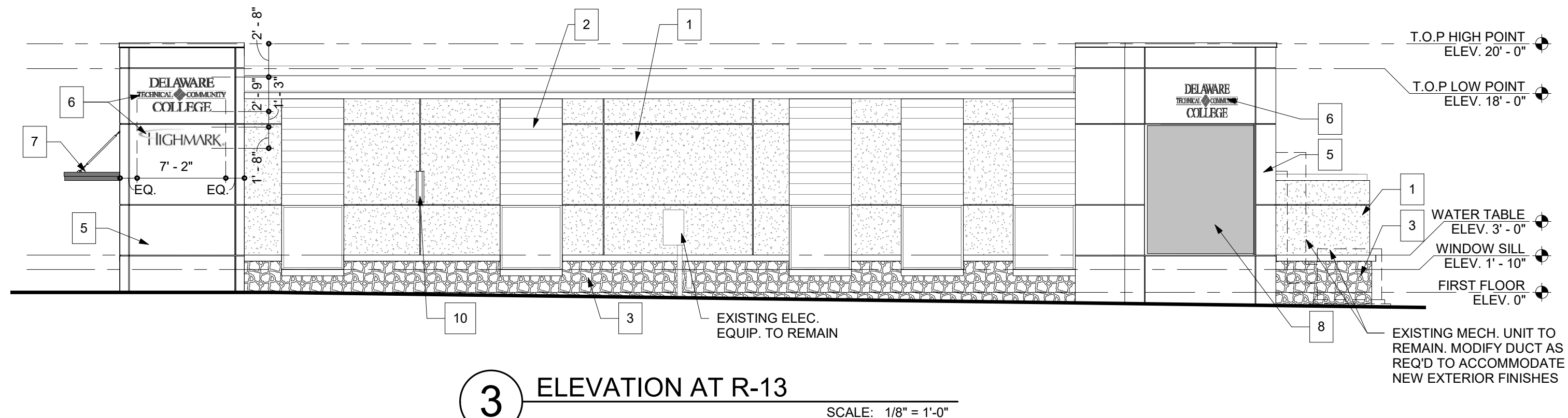
PROVIDE NEW HM DOOR LEAVES, SIZE TO MATCH EXISTING FRAME. 1 3/4" THICK, RIGID POLYISOCYANURATE FOAM INSULATION CORE; FLUSH HEAVY DUTY GALV. STEEL MINIMUM THICKNESS OF 0.053 INCH (1.3 mm). SHOP PRIMED FOR FIELD PAINTING. PROVIDE NEW DOOR LEAVES WITH CUSTOM PREP TO ACCOMMODATE EXISTING FRAME AND HARDWARE; REINSTALL EXISTING HARDWARE; CLEAN, PRIME, AND PAINT EXISTING FRAME AND PAINT NEW DOOR LEAVES, INTERIOR AND EXTERIOR.



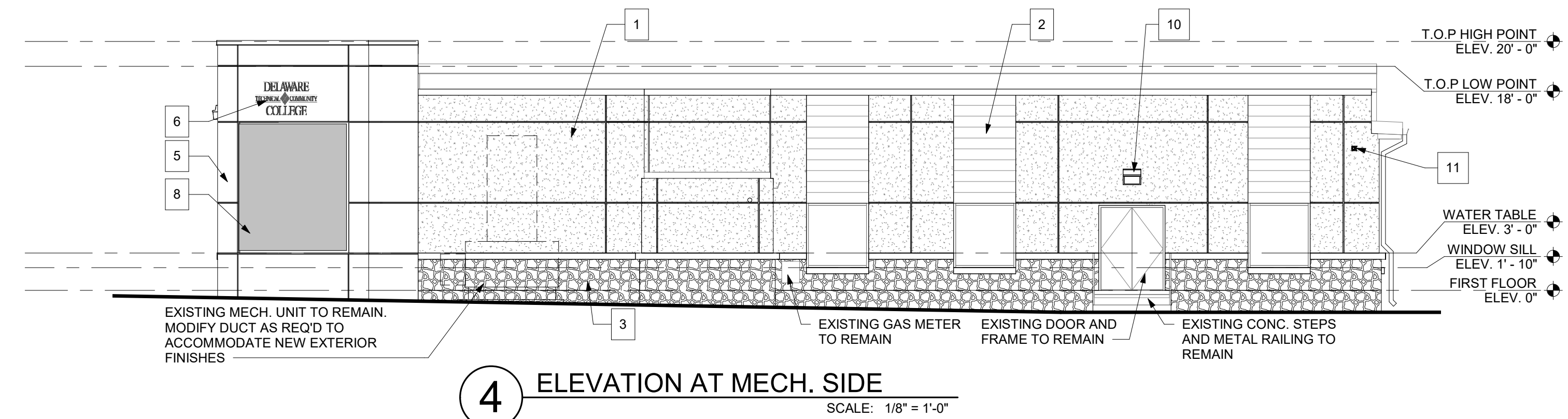
DOOR TYPES



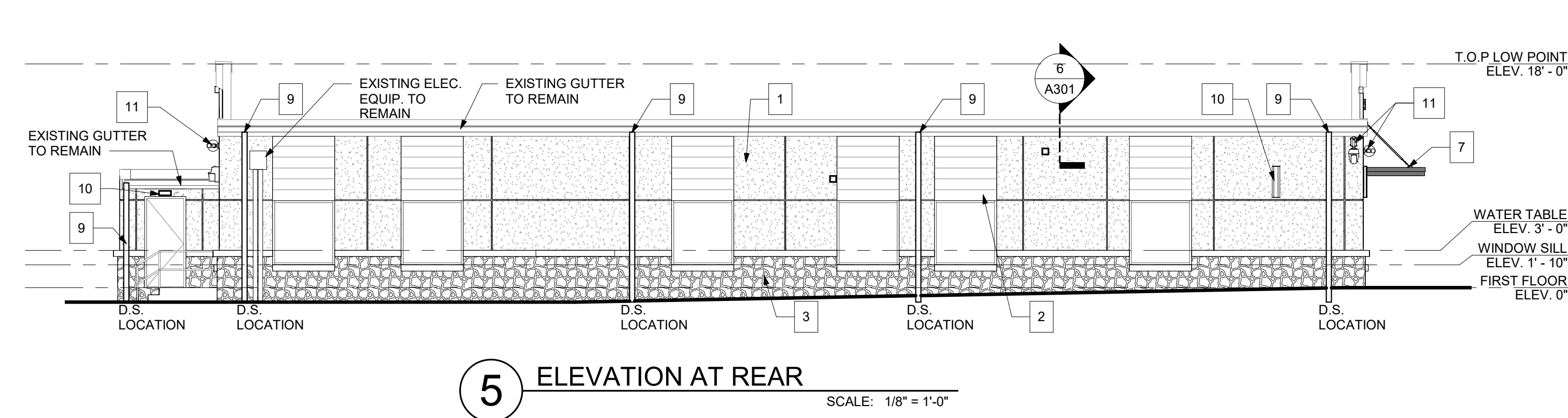
2 ELEVATION AT ENTRANCE
SCALE: 1/8" = 1'-0"



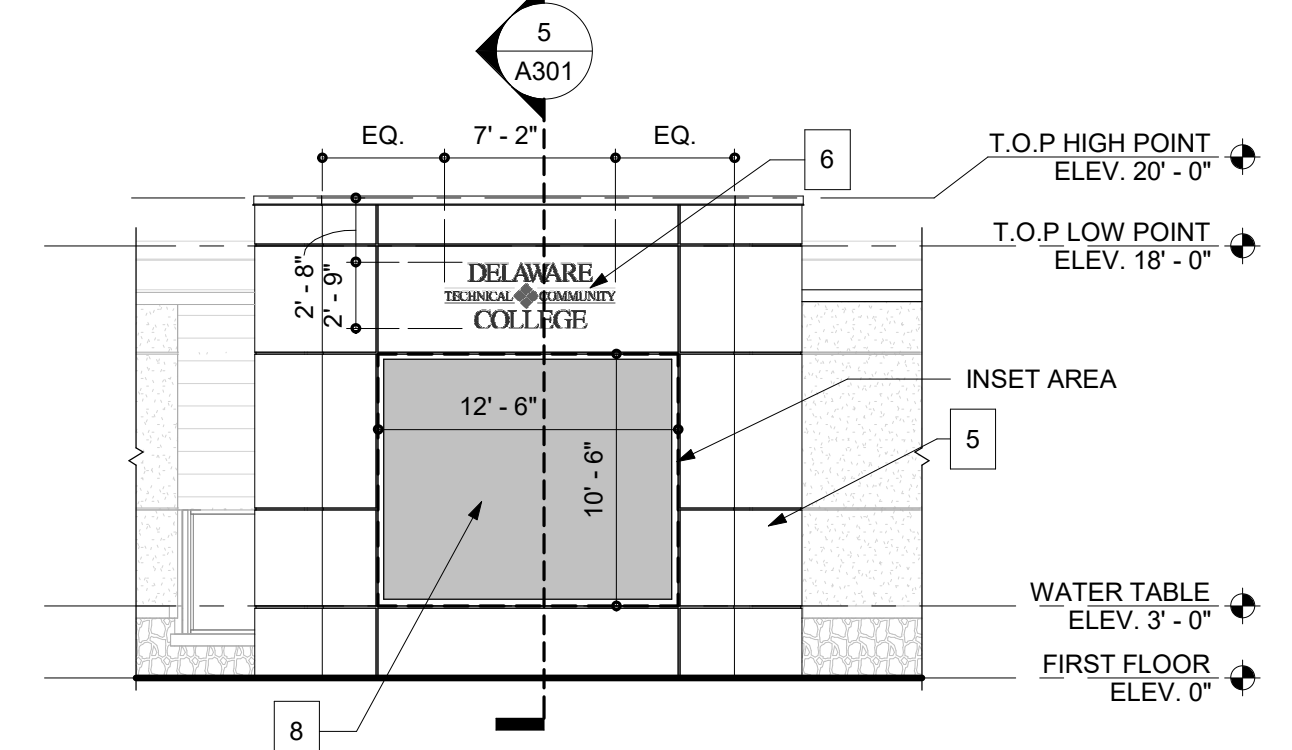
3 ELEVATION AT R-13
SCALE: 1/8" = 1'-0"



4 ELEVATION AT MECH. SIDE
SCALE: 1/8" = 1'-0"



5 ELEVATION AT REAR
SCALE: 1/8" = 1'-0"



6 ELEVATION AT CORNER WALL
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**

A. DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE, MASONRY, OR METAL STUD UNLESS OTHERWISE NOTED.

B. SEE A300-SERIES FOR SECTIONS. COORDINATE REQUIREMENTS OF WORK WITH ALL OTHER TRADES.

C. SEE A500-SERIES FOR PLAN DETAILS AND SECTION DETAILS. COORDINATE REQUIREMENTS OF WORK WITH ALL OTHER TRADES.

D. PATCH AND REPAIR AREAS DAMAGED BY DEMOLITION ACTIVITIES. FINISH SMOOTH TO BLEND WITH ADJACENT CONSTRUCTION OR IN PREPARATION FOR NEW FINISHES.

E. ALL WORK SHALL BE PHASE ONE U.O.N.

F. REMOVE ALL EXISTING WALL MOUNTED DEVICES FOR REINSTALLATION AND EXTEND ALL EXISTING PENETRATIONS TO ACCOMMODATE NEW CLADDING SYSTEMS, INCLUDING BUT NOT LIMITED TO EXHAUST FAN DUCTS, ELECTRICAL BOXES, SLEEVE OR CONDUIT AND/OR PIPING, ETC.
- NEW WORK KEY NOTES**

1. 3" E.I.F.S TO MATCH EXISTING

2. FIBER CEMENT SIDING

3. STONE VENEER SYSTEM WITH SILL

4. PHASE TWO: NEW ALUMINUM STOREFRONT ENTRANCE

5. ACM PANEL AND ATTACHMENT SYSTEM

6. NEW BUILDING SIGNAGE

7. PHASE TWO: NEW METAL CANOPY WITH TIEROODS

8. NEW CUSTOM SIZE 12'-0" X 10'-0" ELECTRONIC MESSAGE BOARD. SEE ELEC. DRAWINGS FOR POWER.

9. NEW DOWNSPOUTS TO MATCH EXISTING GUTTER

10. NEW EXTERIOR LIGHTING, COORDINATE WITH ELEC. DRAWINGS

11. REINSTALL EXISTING CAMERAS AND COMMUNICATIONS EQUIPMENT - SEE ELEC. DRAWINGS FOR ADDITIONAL INFORMATION

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FIRST FLOOR AND
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ISSUE BLOCK

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