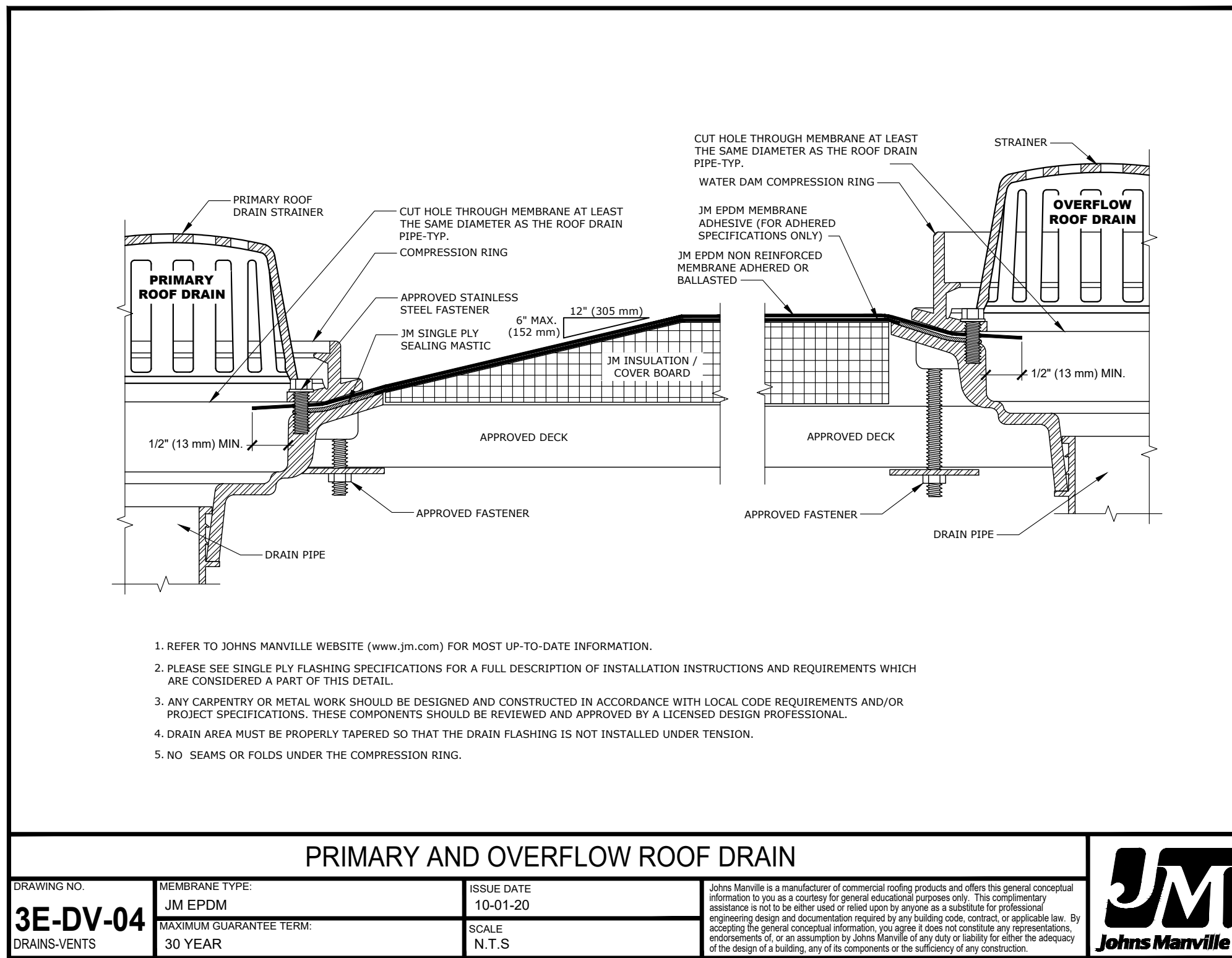


GENERAL PROJECT REQUIREMENTS:

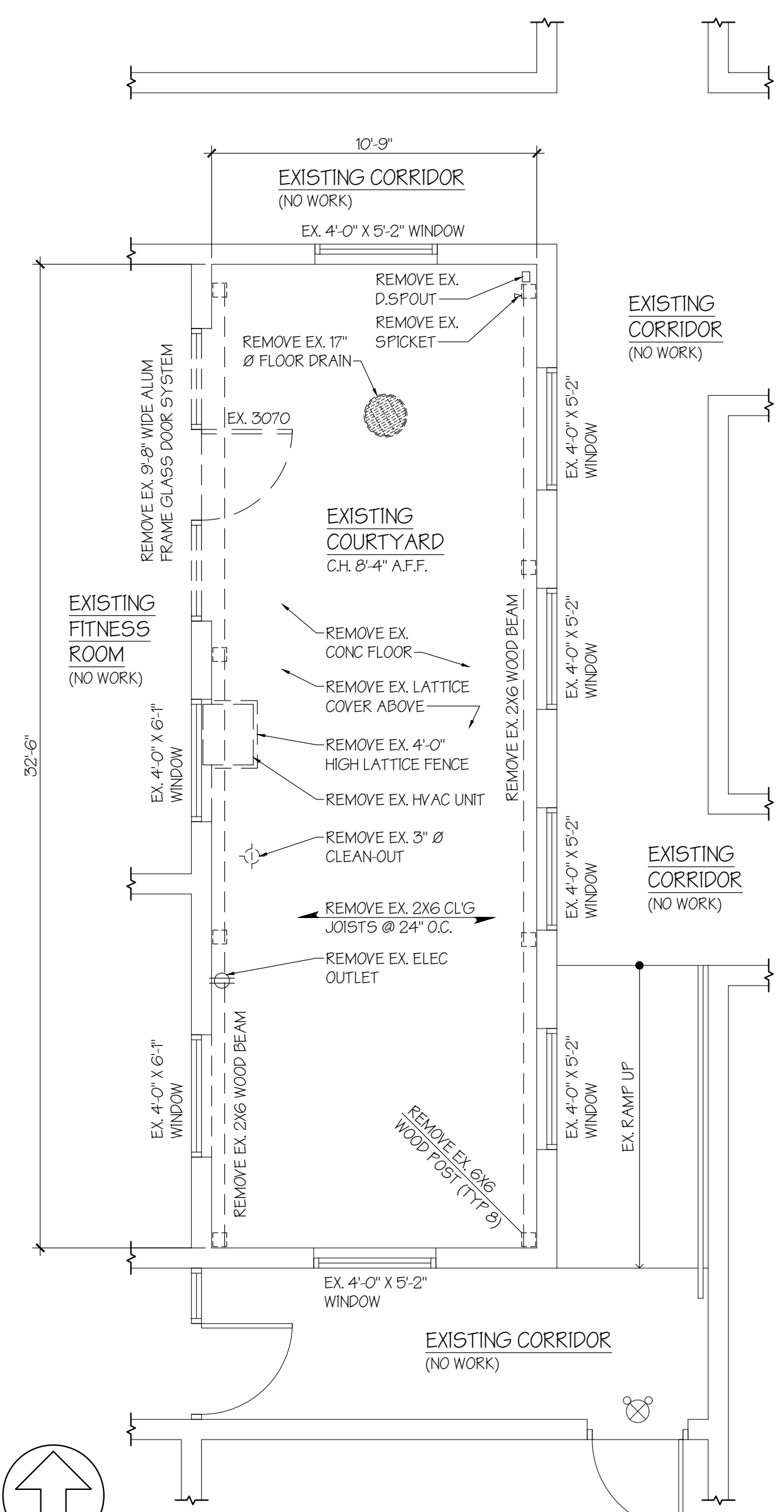
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE 2009 IBC, 2021 NFPA 101 LIFE SAFETY CODE, AND ALL CODES, RULES AND REGULATIONS OF THE STATE OF DELAWARE AND THE CITY OF DOVER AT THE TIME OF PERMIT APPLICATION.
- WRITTEN DIMENSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ON DRAWINGS ARE TO EXTERIOR FACE OF SHEATHING TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK BEFORE PROCEEDING. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATION(S) SHALL BE RESOLVED BY THE ARCHITECT AND CONTRACTOR BEFORE START OF CONSTRUCTION OR THE CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY THE SAME.
- EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE JOINING OF HIS WORK TO THE WORK OF OTHER TRADES. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CONTRACTOR UPON DISCOVERY, OR BEFORE PROCEEDING WITH THE WORK OR THE SUB-CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY TO RECTIFY THE SAME.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF THE CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW & APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR TOILET ACCESSORIES, MECHANICAL, ELECTRICAL, & OTHER ITEMS AS NECESSARY.
- ALL DOOR SIZES SHALL BE FIELD MEASURED & VERIFIED PRIOR TO FABRICATION OR PLACING OF ORDER.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OF CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR JOB SAFETY AND SHORING AND BRACING OF ALL CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE DURING THE CONSTRUCTION FOR PROVIDING PROTECTION AS NECESSARY TO PRESERVE & MAINTAIN THE BUILDING, GROUNDS, LANDSCAPING, & ADJACENT BUILDINGS & MATERIALS, & TO ASSURE THE SAFETY OF THE PUBLIC.
- THE CONTRACTOR IS TO CONFINE OPERATIONS & STORAGE TO THE WORK AREA APPROVED BY THE OWNER. THE WORK AREAS & THE BUILDING ARE TO BE KEPT CLEAN & ORDERLY. PROVIDE NECESSARY SIGNAGE, BARRICADES, FENCING, & LIGHTING AS REQUIRED FOR SECURITY & TO RESTRICT SITE ACCESS. NORMAL PUBLIC ACCESS & USE OF THE BUILDING SHALL BE MAINTAINED IN A SAFE & ORDERLY MANNER DURING NORMAL BUSINESS HOURS.
- AT THE TIME OF PROJECT CLOSEOUT, THE CONTRACTOR SHALL CLEAN HIS WORK. LISTED BELOW ARE THE CLEANING OPERATIONS TO BE PERFORMED:
 - REMOVE NON-PERMANENT PROTECTION & LABELS.
 - POLISH GLASS
 - CLEAN EXPOSED FINISHES
 - TOUCH UP MINOR FINISH DAMAGE
 - CLEAN OR REPLACE ALL MECHANICAL SYSTEMS FILTERS.
 - REMOVE & DISPOSE OF ALL DEBRIS FROM SITE.
 - BROOM CLEAN UNOCCUPIED SPACES.
 - CLEAN PLUMBING & LIGHT FIXTURES. REPLACE BURNED OUT LAMPS.
 - CLEAN & WAX RESILIENT FLOORING. VACUUM ALL CARPETS.
- ALL WOOD FRAMING LUMBER IN CONTACT WITH MASONRY OR CONCRETE SURFACES SHALL BE PRESSURE TREATED.
- TEMPORARY HEATING, COOLING, & VENTILATION
 - GYPSUM BOARD - 55°F MINIMUM DAY & NIGHT DURING ENTIRE JOINT TREATMENT OPERATION & UNTIL EXECUTION OF CERTIFICATE OF SUBSTANTIAL COMPLETION.
 - RESILIENT FLOORING - 70°F MINIMUM DURING APPLICATION.
 - PAINTING - 55°F MINIMUM DURING PAINTING OPERATIONS & UNTIL DRY.
- ALL EXTERIOR JOINTS CRACKS & HOLES IN THE ADDITION BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED. THIS INCLUDES (BUT IS NOT NECESSARILY LIMITED TO) AROUND WINDOWS & DOOR FRAMES, BETWEEN WALL & FOUNDATION BETWEEN WALL & ROOF, BETWEEN NEW AND EXISTING WALLS, AND UTILITY PENETRATIONS.
- ALL PAINTED & COVERED GYPSUM BOARD SURFACES SHALL RECEIVE A 5 COAT PAPE & SPICKLE SYSTEM. ALL GYPSUM BOARD SHALL BE SCREWED TO THE SUB-FRAMING.
- ALL GYPSUM BOARD WALL & CEILING SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS OF PAINT.
- ALL WOOD & METAL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS SEMI-GLOSS PAINT.
- FINISH ALL NON-LOAD BEARING INTERIOR PARTITIONS WITH 1 LAYER 5/8" GYPSUM BOARD ON EACH FACE & 3/4" UNFACED MINERAL FIBER BLANKET INSULATION IN STUD CAVITY.
- ALL SOIL IN CONTACT WITH NEW CONSTRUCTION SHALL BE TREATED TO PREVENT TERMITES INFESTATION. THE CONTRACTOR SHALL SUBMIT A CERTIFICATION OF TERMITE TREATMENT TO THE OWNER PRIOR TO FORTING THE FOOTINGS.



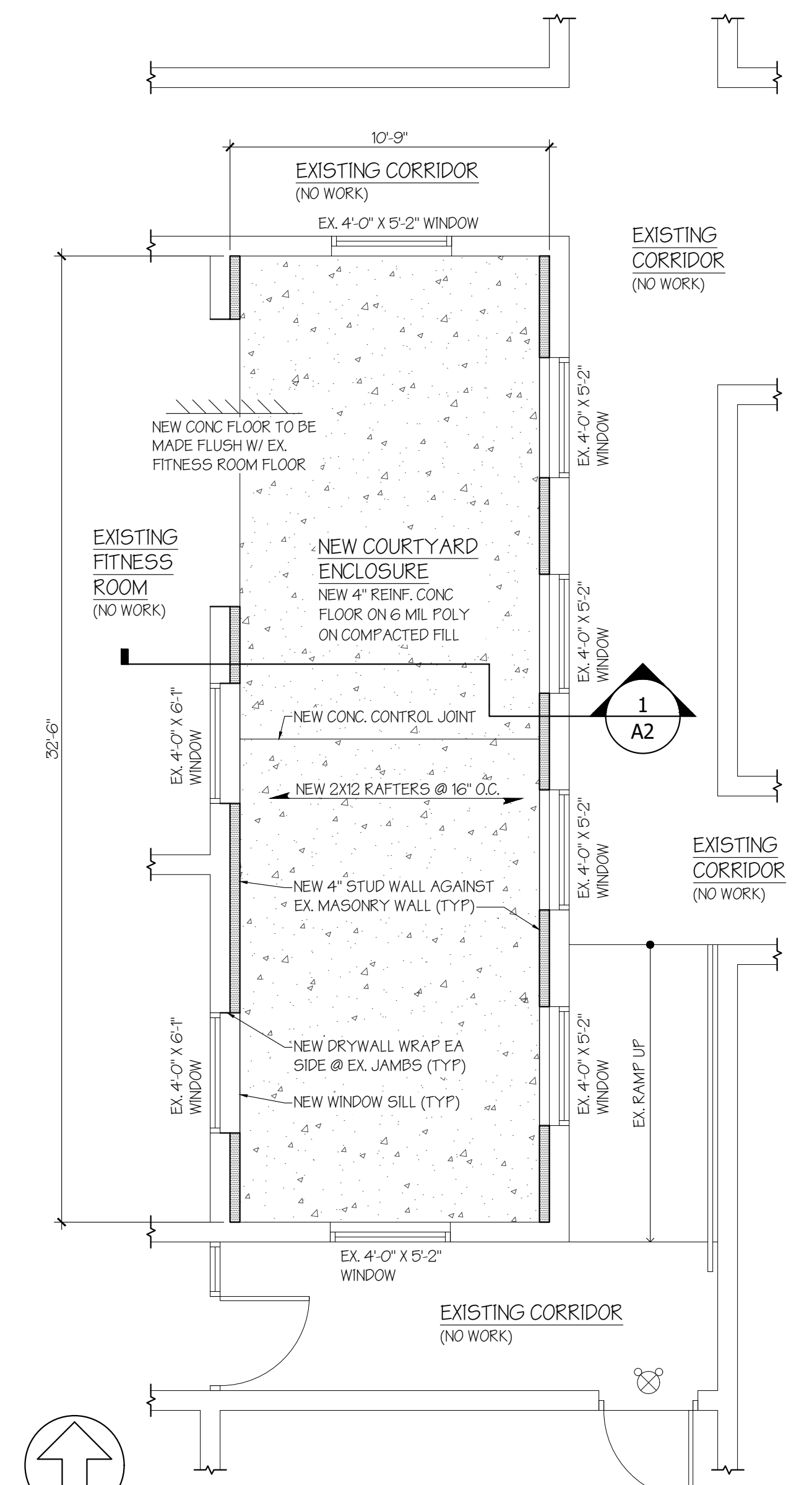
- REFER TO JOHNS MANVILLE WEBSITE (www.jm.com) FOR MOST UP-TO-DATE INFORMATION.
- PLEASE SEE SINGLE PLY FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
- ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
- DRAIN AREA MUST BE PROPERLY TAPERED SO THAT THE DRAIN FLASHING IS NOT INSTALLED UNDER TENSION.
- NO SEAMS OR FOLDS UNDER THE COMPRESSION RING.

PRIMARY AND OVERFLOW ROOF DRAIN

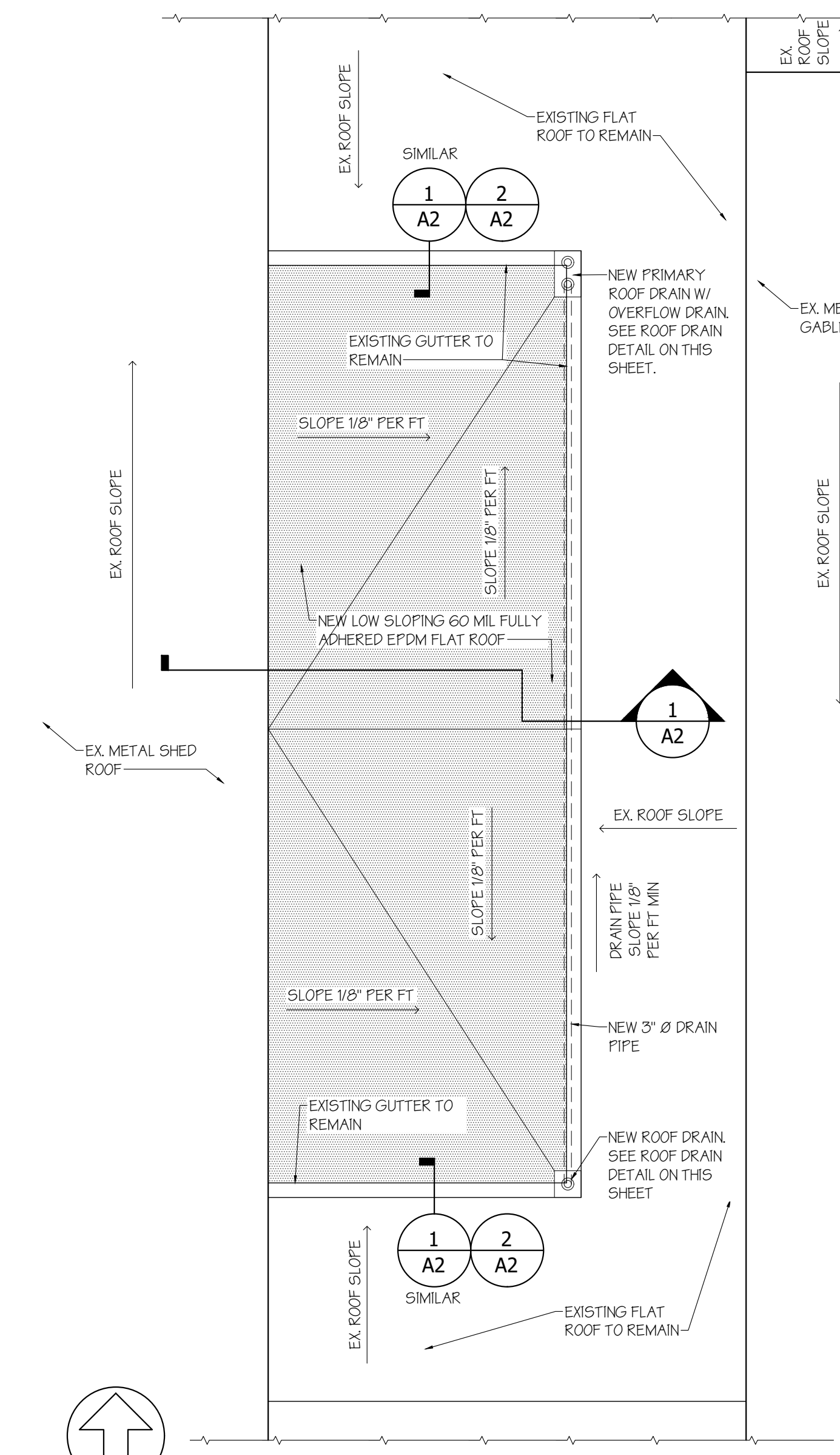
DRAWING NO. 3E-DV-04 DRAINS-VENTS	MEMBER TYPE JM EPDM MAXIMUM GUARANTEE TERM: 30 YEAR	ISSUE DATE 10-01-20 SCALE N.T.S.	Johns Manville is a manufacturer of commercial roofing products and offers this general conceptual information to you as a courtesy for general educational purposes only. This complimentary assistance is not to be used for or used solely to serve as a substitute for professional engineering design and documentation required by any building code, contract, or applicable law. By accepting the general conceptual information, you agree to do not contribute any representation, endorsement of, or an assumption by Johns Manville of any duty or liability for either the adequacy of the design of a building, any of its components or the sufficiency of any construction.
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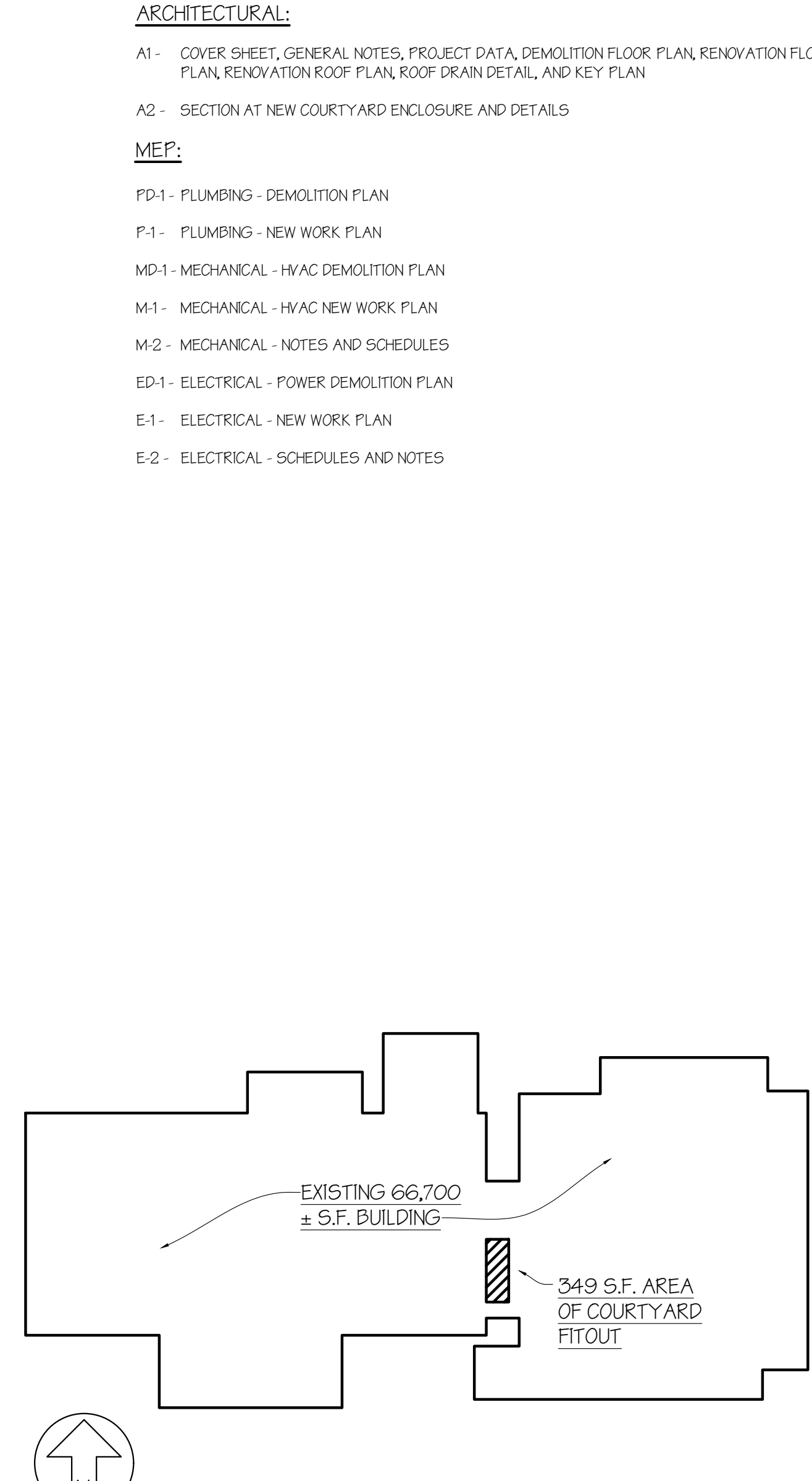
PROJECT NORTH
DEMOLITION FLOOR PLAN
1/4" = 1'-0"



PROJECT NORTH
RENOVATION FLOOR PLAN
1/4" = 1'-0"



PROJECT NORTH
RENOVATION ROOF PLAN
1/4" = 1'-0"



PROJECT NORTH
KEY PLAN
N.T.S.

**NEW ENCLOSURE / FIT OUT FOR
MMC COURTYARD**

1121 FORREST AVENUE
DOVER, DELAWARE 19904

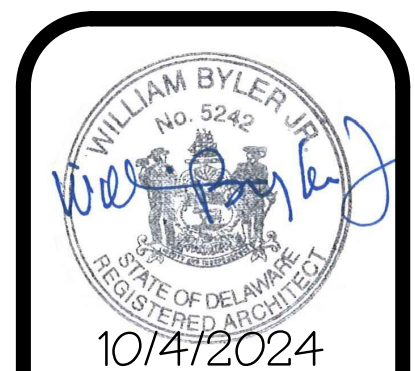
2009 IBC PROJECT DATA SUMMARY:

OWNER'S NAME AND ADDRESS:	MODERN MATURITY CENTER, INC 1121 FORREST AVENUE DOVER, DELAWARE 19904
TAX MAP NUMBER:	2-05-07607-01-2500-00001
ZONING:	IO - INSTITUTIONAL / OFFICE
CODES:	CITY OF DOVER MUNICIPAL CODE, CHAPTER 22 BUILDING REGULATIONS, AND CHAPTER 46 FIRE PROTECTION AND PREVENTION IBC YEAR 2009 IFC YEAR 2009 IMC YEAR 2009 NFPA 101 LIFE SAFETY CODE 2021 ICC / ANS I 117-1 2009
BUILDING AREA:	66,700 S.F. ±
AREA OF FIT-OUT:	349 S.F. = 0.52% OF TOTAL BUILDING AREA
CONSTRUCTION TYPE:	IB
ALTERATION LEVEL:	LEVEL 2 PER IBC 404
AUTOMATIC SPRINKLER SYSTEM:	
FIRE ALARM SYSTEM:	

DRAWING LIST:

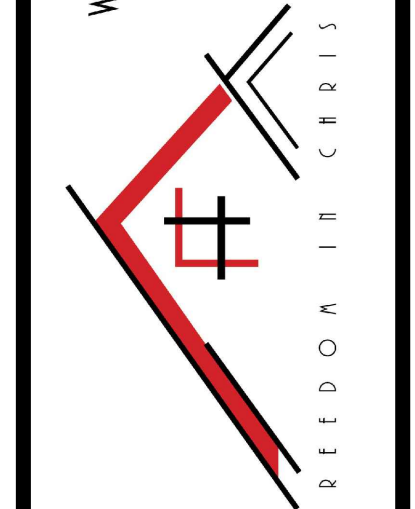
- ARCHITECTURAL:**
- A1 - COVER SHEET, GENERAL NOTES, PROJECT DATA, DEMOLITION FLOOR PLAN, RENOVATION FLOOR PLAN, RENOVATION ROOF PLAN, ROOF DRAIN DETAIL, AND KEY PLAN
 - A2 - SECTION AT NEW COURTYARD ENCLOSURE AND DETAILS
- MEP:**
- PD-1 - PLUMBING - DEMOLITION PLAN
 - P-1 - PLUMBING - NEW WORK PLAN
 - MD-1 - MECHANICAL - HVAC DEMOLITION PLAN
 - M-1 - MECHANICAL - HVAC NEW WORK PLAN
 - M-2 - MECHANICAL - NOTES AND SCHEDULES
 - ED-1 - ELECTRICAL - POWER DEMOLITION PLAN
 - E-1 - ELECTRICAL - NEW WORK PLAN
 - E-2 - ELECTRICAL - SCHEDULES AND NOTES

REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/1/2024	



10/17/2024
PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND APPROVED BY ME, AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE. LICENSE NUMBER 6242, EXPIRATION DATE 12-31-2024

WM BYLER JR. ARCHITECT INC
PO Box 104, Kenton, DE 19955
Phone: 302-653-3550
Cell: 302-359-3313
bill@wbjrchitect.com
www.wbjrchitect.com

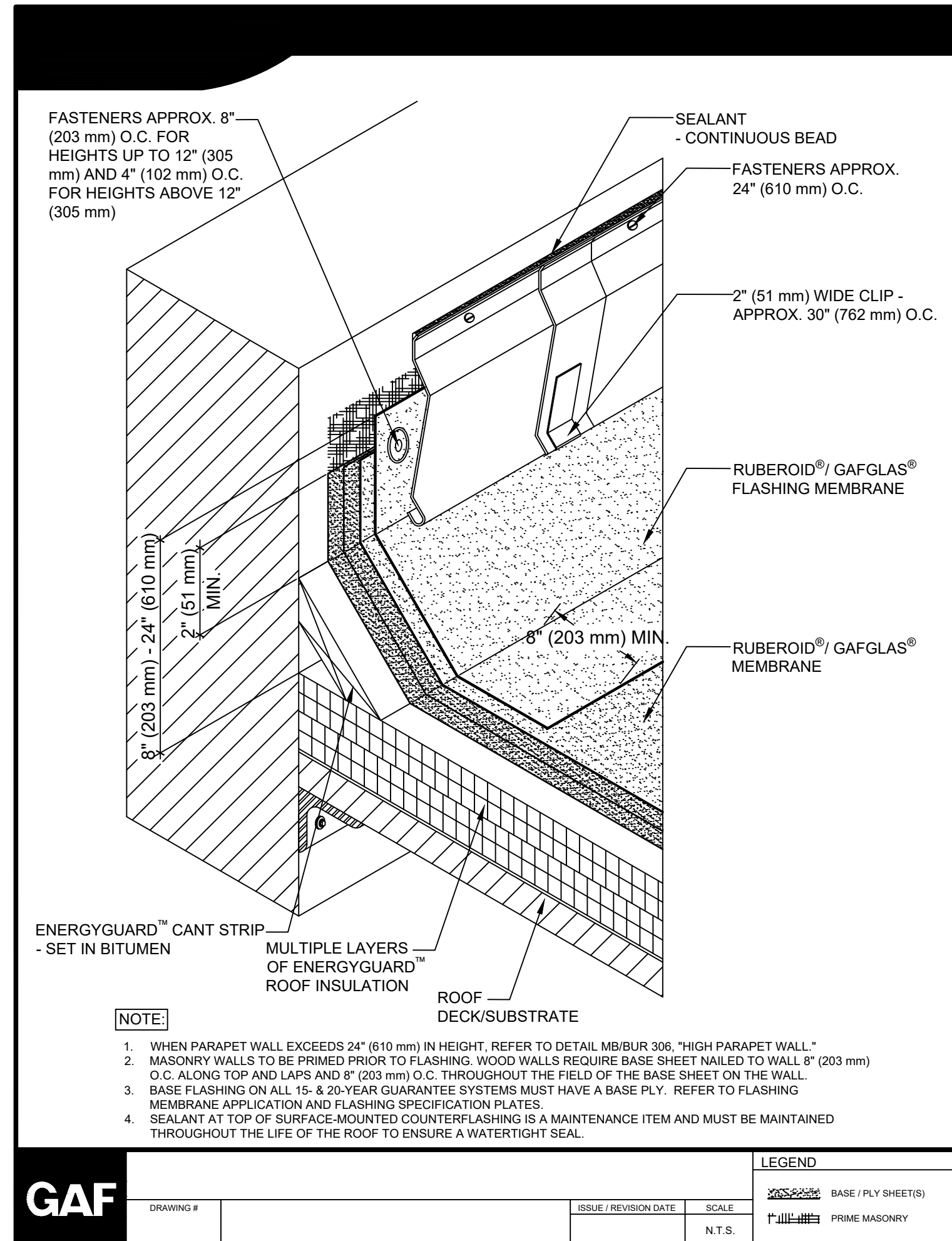


NEW ENCLOSURE / FIT-OUT FOR
MMC COURTYARD
1121 FORREST AVE
DOVER, DE 19904

COVER SHEET,
GENERAL NOTES,
PROJECT DATA,
± DEMO, RENO,
ROOF, ROOF
DRAIN DETAIL, ±
KEY PLANS

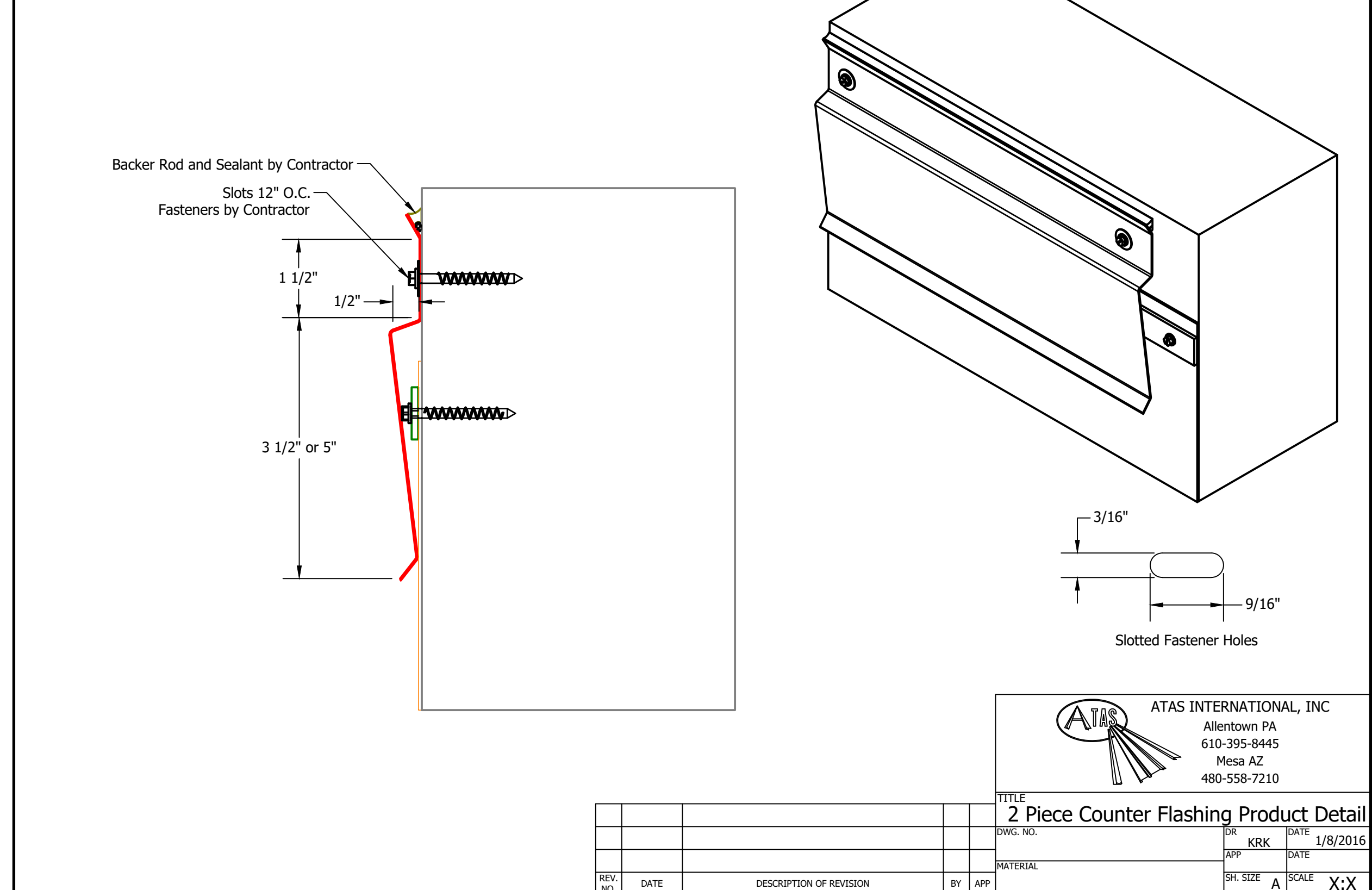
DRAWN WHL
CHECKED W.B.
DATE 4 OCTOBER 2024
SCALE NOTED
JOB NO. C1654-0124
SHEET

A1
OF SHEETS

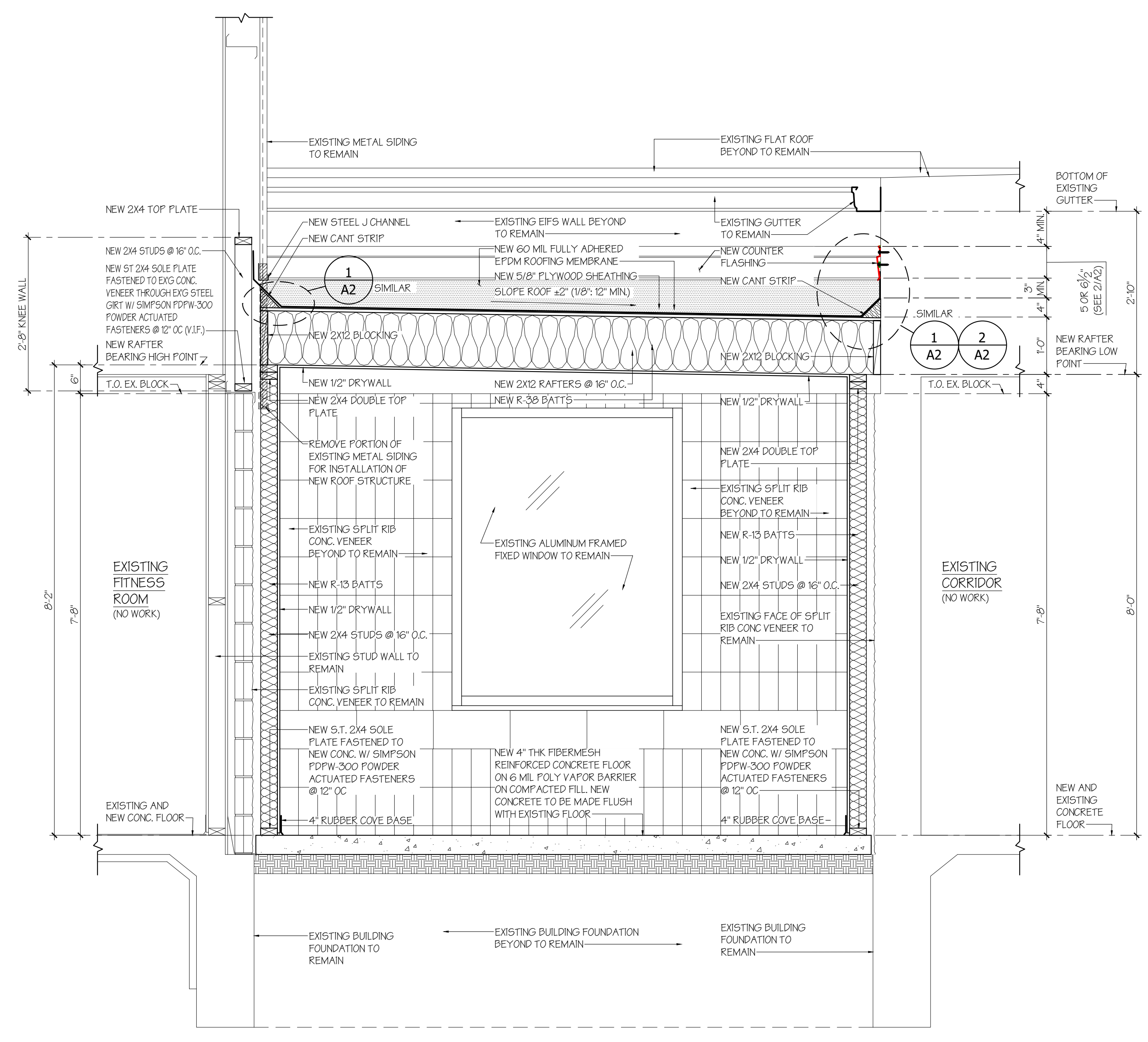


2 TYPICAL EPDM ROOF DETAIL @ WALL
NT.S.

Standard Materials	
Available Gauges	Materials
Pre-Finished Alum.	.032
Mill Alum.	.032

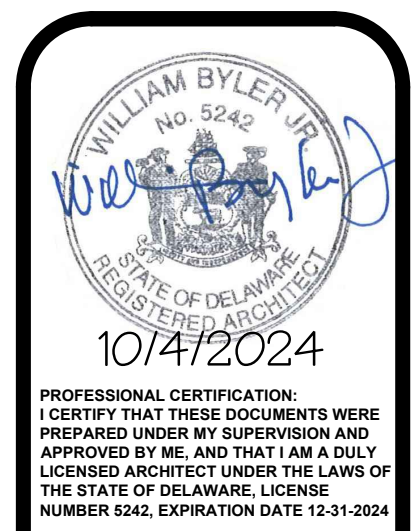


3 TYPICAL COUNTER FLASHING DETAIL
NT.S.

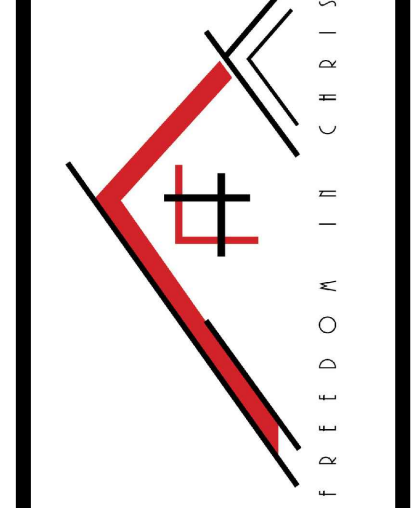


1 SECTION @ NEW COURTYARD ENCLOSURE
3/4" = 1'-0"

REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/14/2024	



WM BYLER JR. ARCHITECT INC.
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 bill@wbylerarchitect.com
 www.wbylerarchitect.com



NEW ENCLOSURE / FIT-OUT FOR
MIMC COURTYARD
 1121 FORREST AVE
 DOVER, DE 19904

SECTION AT
 NEW
 COURTYARD
 ENCLOSURE
 AND DETAILS

DRAWN	WHL
CHECKED	W.B.
DATE	4 OCTOBER 2024
SCALE	NOTED
JOB NO.	C1654-0124
SHEET	A2

A2
 OF SHEETS