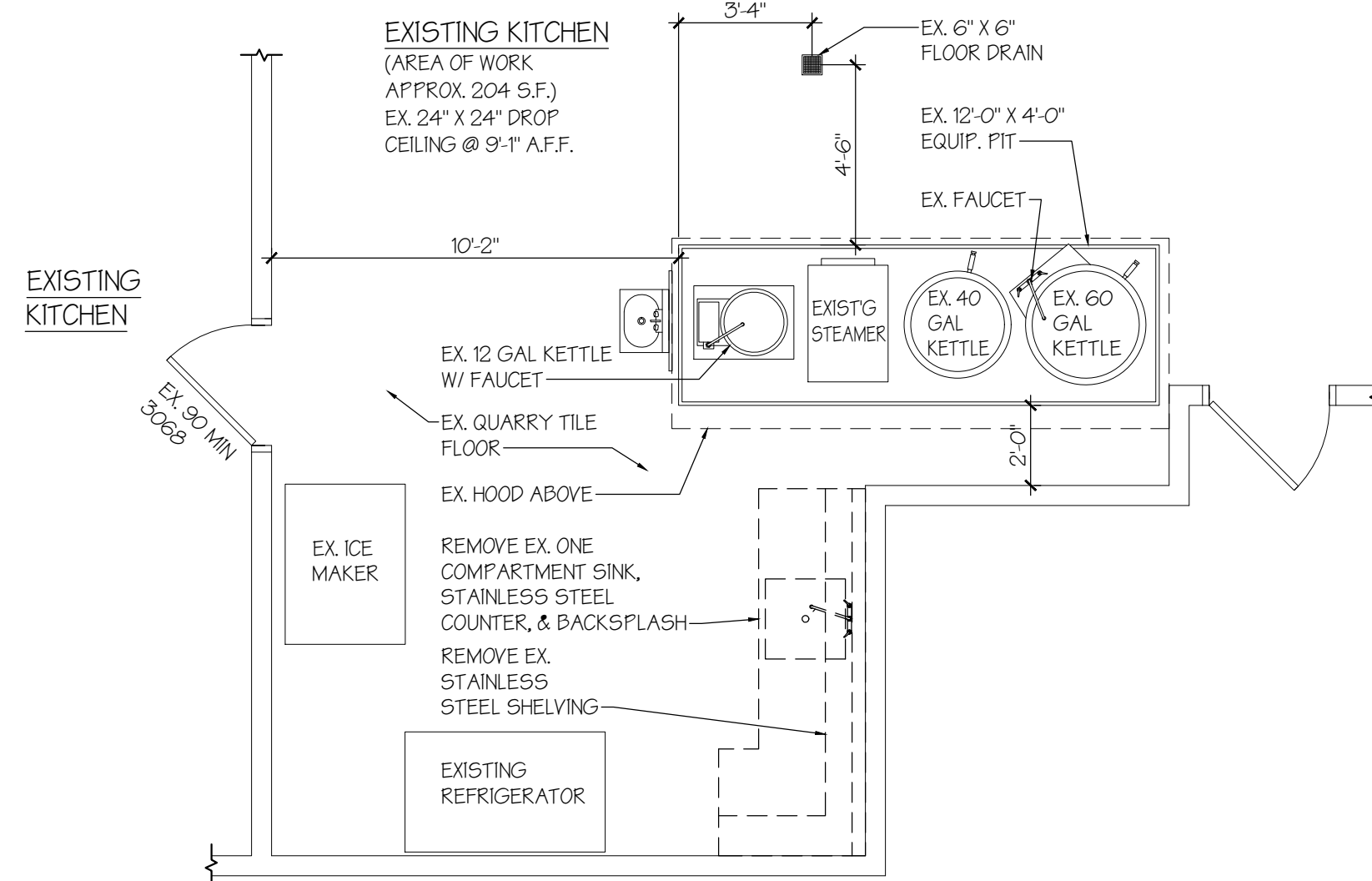
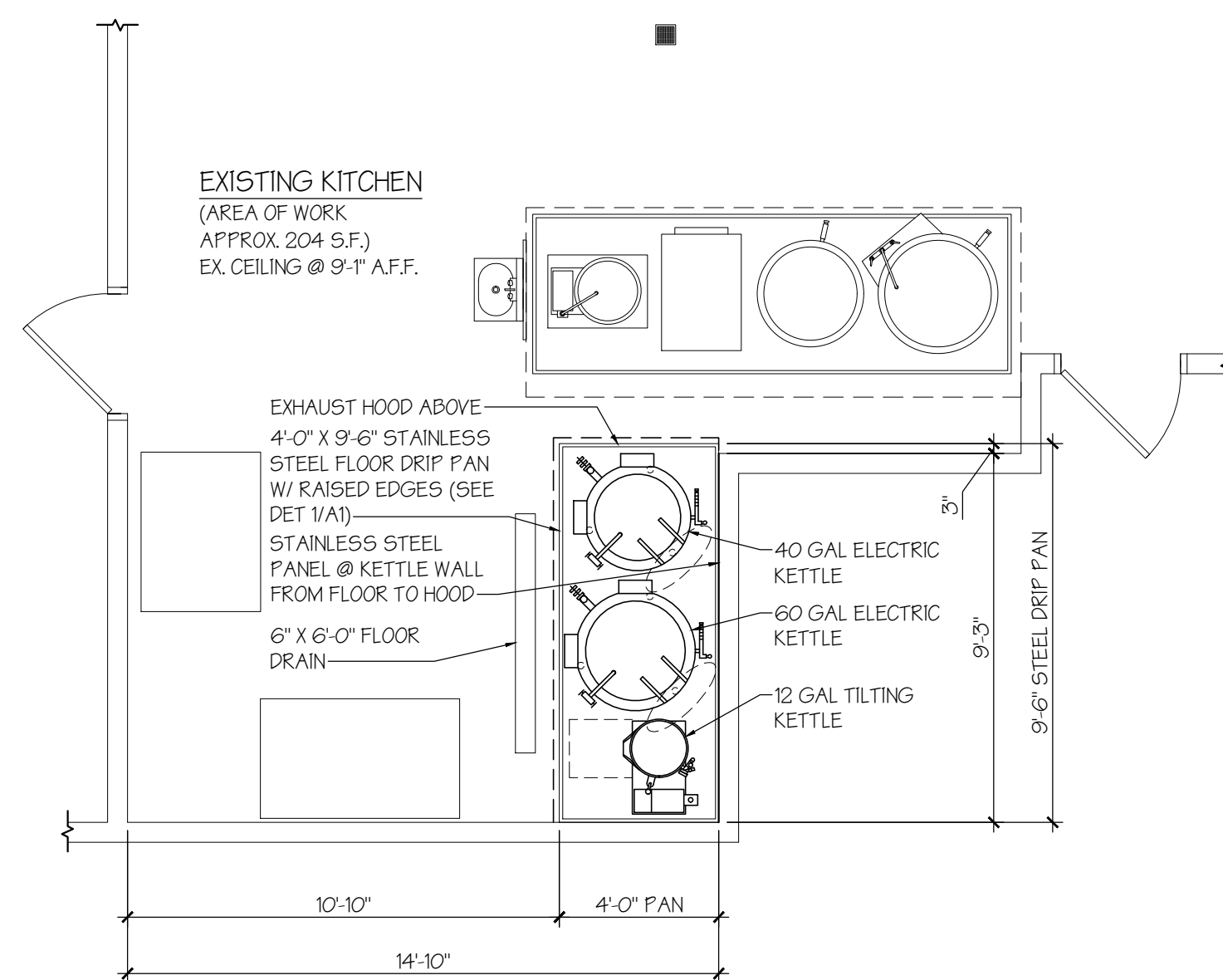


GENERAL PROJECT REQUIREMENTS - SMALL PROJECT:

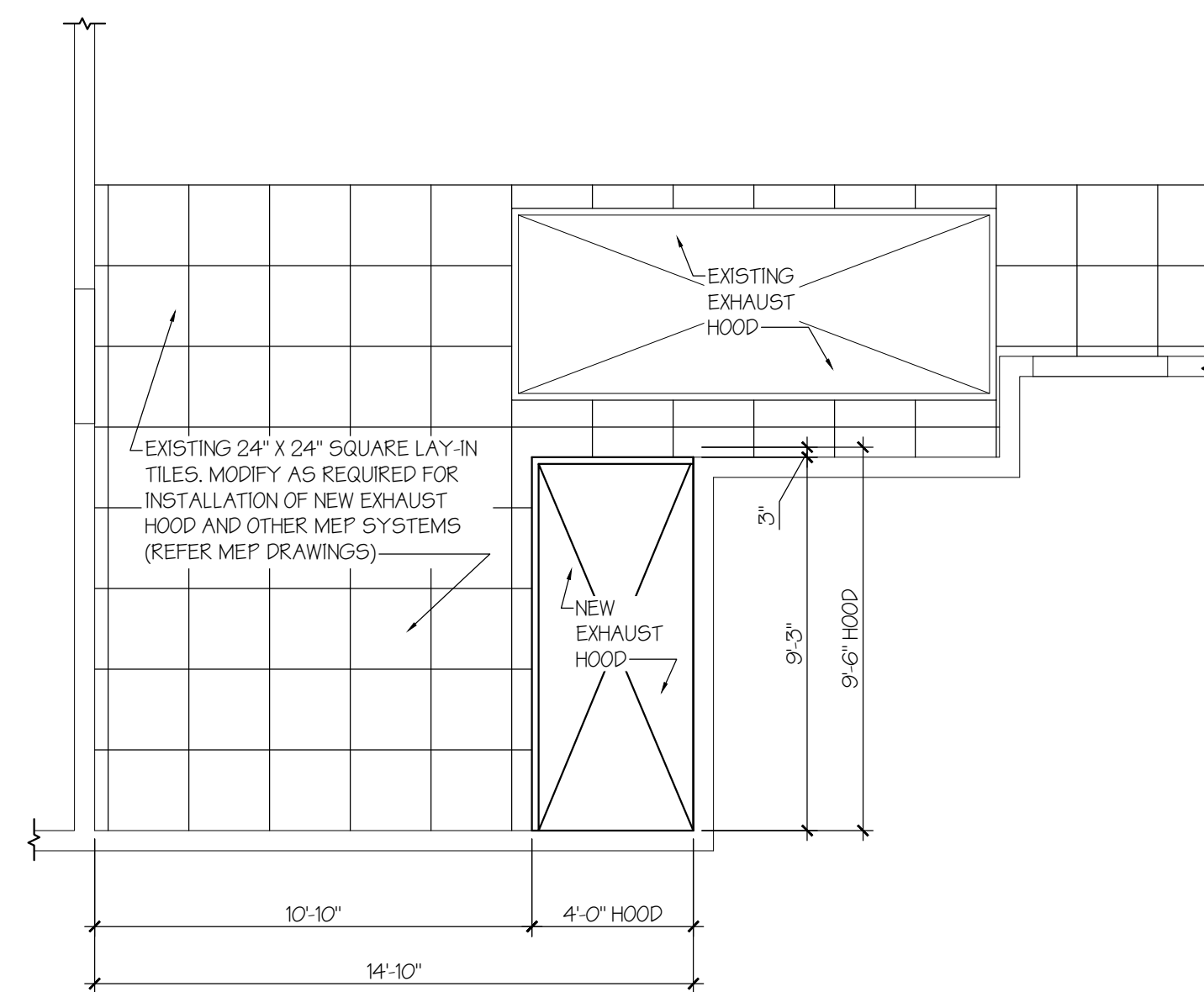
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE 2009 IBC, 2021 NFPA 101 LIFE SAFETY CODE, AND ALL CODES, RULES AND REGULATIONS OF THE STATE OF DELAWARE AND THE CITY OF DOVER AT THE TIME OF PERMIT APPLICATION.
- WRITTEN DIMENSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE, DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ON DRAWINGS ARE TO EXTERIOR FACE OF SHEATHING TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK BEFORE PROCEEDING. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND / OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATION(S) SHALL BE RESOLVED BY THE ARCHITECT AND CONTRACTOR BEFORE START OF CONSTRUCTION OR THE CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY THE SAME.
- EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE JOINING OF HIS WORK TO THE WORK OF OTHER TRADES. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CONTRACTOR UPON DISCOVERY, OR BEFORE PROCEEDING WITH THE WORK OR THE SUBCONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY TO RECTIFY THE SAME.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF THE CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW & APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR MECHANICAL, ELECTRICAL, & OTHER ITEMS AS NECESSARY.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OF CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR JOB SAFETY AND SHORING AND BRACING OF ALL CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE DURING THE CONSTRUCTION FOR PROVIDING PROTECTION AS NECESSARY TO PRESERVE & MAINTAIN THE BUILDING, GROUNDS, & ADJACENT BUILDINGS & MATERIALS, & TO ASSURE THE SAFETY OF THE PUBLIC.
- THE CONTRACTOR IS TO CONFINE OPERATIONS & STORAGE TO THE WORK AREA APPROVED BY THE OWNER. THE WORK AREAS & THE BUILDING ARE TO BE KEPT CLEAN & ORDERLY; PROVIDE NECESSARY SIGNAGE, BARRICADES, FENCING, & LIGHTING AS REQUIRED FOR SECURITY & TO RESTRICT SITE ACCESS. NORMAL PUBLIC ACCESS & USE OF THE BUILDING SHALL BE MAINTAINED IN A SAFE & ORDERLY MANNER DURING NORMAL BUSINESS HOURS.
- AT THE TIME OF PROJECT CLOSEOUT, THE CONTRACTOR SHALL CLEAN HIS WORK. LISTED BELOW ARE THE CLEANING OPERATIONS TO BE PERFORMED:
 - REMOVE NON-PERMANENT PROTECTION & LABELS.
 - CLEAN EXPOSED FINISHES.
 - TOUCH UP MINOR FINISH DAMAGE.
 - CLEAN OR REPLACE ALL MECHANICAL SYSTEMS FILTERS.
 - REMOVE & DISPOSE OF ALL DEBRIS FROM SITE.
 - BROOM CLEAN UNOCCUPIED SPACES.
 - CLEAN PLUMBING & LIGHT FIXTURES. REPLACE BURNED OUT LAMPS.
 - CLEAN & WAX RESILIENT FLOORING.
- TEMPORARY HEATING, COOLING, & VENTILATION
 - GYPSUM BOARD - 50° F MINIMUM DAY & NIGHT DURING ENTIRE JOINT TREATMENT OPERATION & UNTIL EXECUTION OF CERTIFICATE OF SUBSTANTIAL COMPLETION.
 - CERAMIC TILE - 50° F MINIMUM DURING PREPARATION OF MORTAR BED, LAYING OF TILE, AND FOR 72 HOURS, AFTER COMPLETION OF TILE WORK.
 - ACOUSTICAL TILE - 70° F MINIMUM DURING SETTING OF TILE.
 - RESILIENT FLOORING - 70° F MINIMUM DURING APPLICATION.
 - PAINTING - 50° F MINIMUM DURING PAINTING OPERATIONS & UNTIL DRY.
- ALL EXTERIOR JOINTS, CRACKS & HOLES IN THE ADDITION BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED. THIS INCLUDES (BUT IS NOT NECESSARILY LIMITED TO) AROUND WINDOWS & DOOR FRAMES, BETWEEN WALL & FOUNDATION, BETWEEN WALL & ROOF, BETWEEN NEW AND EXISTING WALLS, AND UTILITY PENETRATIONS.
- ALL PAINTED & COVERED GYPSUM BOARD SURFACES SHALL RECEIVE A 3 COAT TAPE & SPACKLE SYSTEM. ALL GYPSUM BOARD SHALL BE SCREWED TO THE SUB-FRAMING.
- ALL GYPSUM BOARD WALL & CEILING SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS OF PAINT.
- ALL WOOD & METAL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS SEMI-GLOSS PAINT.



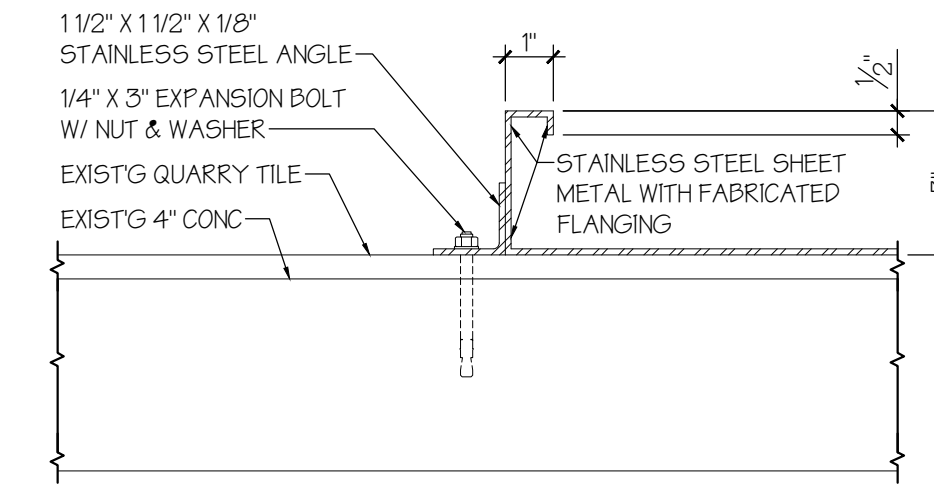
DEMOLITION FLOOR PLAN
1/4" = 1'-0"



RENOVATION FLOOR PLAN
1/4" = 1'-0"



REFLECTED CEILING PLAN
1/4" = 1'-0"



1 FLOOR MOUNTED DRIP PAN DETAIL @ EDGE (TYP)
3/8" = 1'-0"

RENOVATIONS FOR MMC KITCHEN

1121 FORREST AVENUE
DOVER, DELAWARE 19904

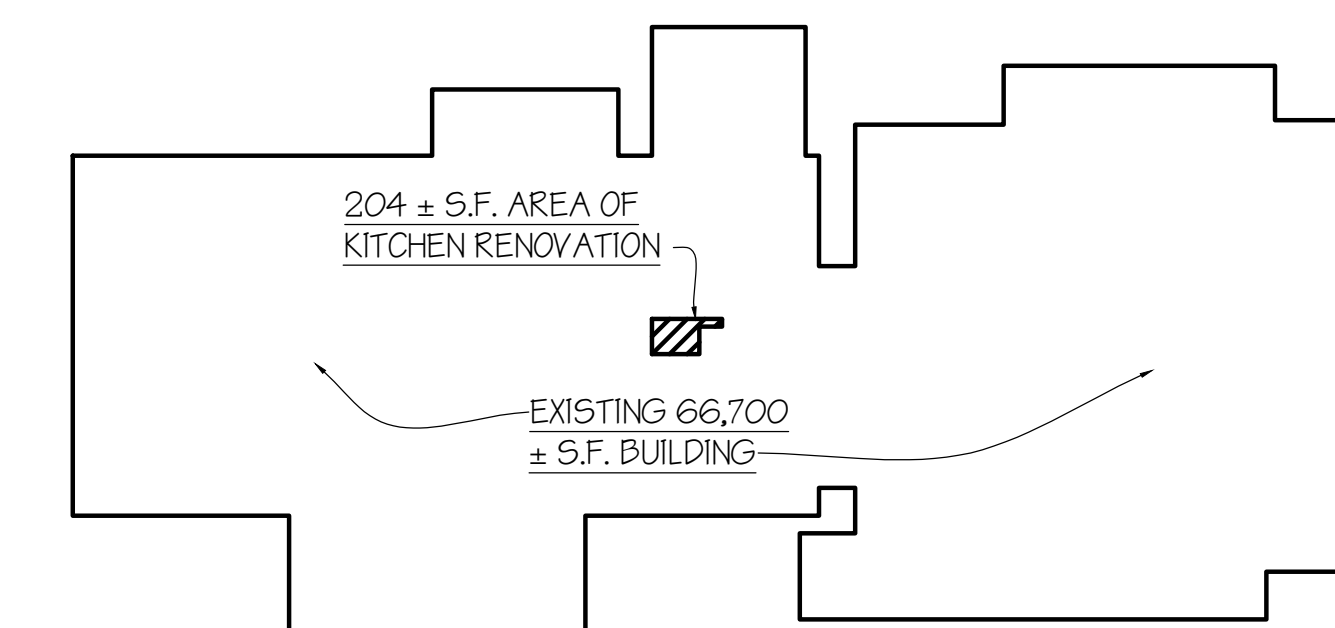
2009 IBC PROJECT DATA SUMMARY:

OWNER'S NAME AND ADDRESS:	MODERN MATURITY CENTER, INC 1121 FORREST AVENUE DOVER, DELAWARE 19904
TAX MAP NUMBER:	2-05-07607-01-2500-00001
ZONING:	IO - INSTITUTIONAL/ OFFICE
CODES:	CITY OF DOVER MUNICIPAL CODE, CHAPTER 22 BUILDING REGULATIONS, AND CHAPTER 46 FIRE PROTECTION AND PREVENTION IEBC YEAR 2009 IFC YEAR 2009 IMC YEAR 2009 NFPA 101 LIFE SAFETY CODE 2021 ICC / ANSI 117-1 2009
BUILDING AREA:	66,700 S.F.
AREA OF RENOVATION:	204 S.F. ±, ≈ 0.3% OF EXISTING BUILDING
CONSTRUCTION TYPE:	11B
ALTERATION LEVEL:	LEVEL 2 PER IEBC 404
AUTOMATIC SPRINKLER SYSTEM:	EXISTING AUTOMATIC SPRINKLER SYSTEM TO BE MODIFIED AS REQUIRED TO SUIT PROJECT IN COMPLIANCE WITH NFPA 13
FIRE ALARM SYSTEM:	EXISTING FIRE ALARM SYSTEM TO BE MODIFIED AS REQUIRED TO SUIT PROJECT IN COMPLIANCE WITH NFPA 72

DRAWING LIST:

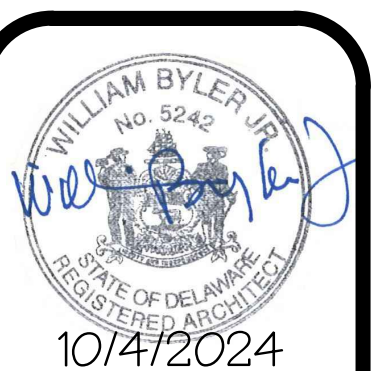
ARCHITECTURAL:

- A1 - COVER SHEET, GENERAL NOTES, PROJECT DATA, DEMOLITION PLAN, RENOVATION PLAN, REFLECTED CEILING PLAN, DETAIL, & KEY PLAN



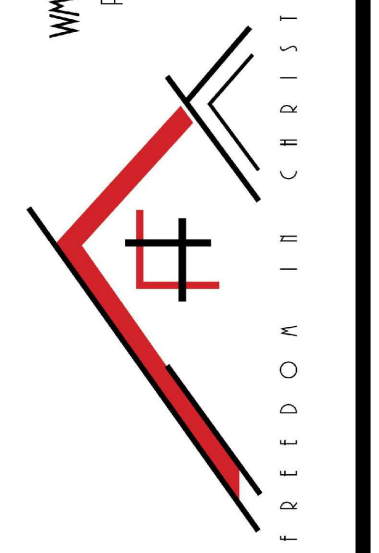
PROJECT KEY PLAN
NORTH N.T.S.

REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/14/2024	



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE. LICENSE NUMBER 5242, EXPIRATION DATE 12-31-2024

WM BYLER JR. ARCHITECT, INC.
PO Box 104, Kenton, DE 19955
Phone: 302-653-3550
Cell: 302-359-3313
bill@wbjarchitect.com
www.wbjarchitect.com



RENOVATIONS FOR
MMC KITCHEN
1121 FORREST AVE
DOVER, DE 19904

COVER SHEET,
GENERAL NOTES,
DEMO & RENO
FLOOR PLANS,
REFLECTED
CEILING PLAN, &
KEY PLAN

DRAWN WHL
CHECKED W.B.
DATE 4 OCTOBER 2024
SCALE NOTED
JOB NO. C1855-0124
SHEET

A1
OF SHEETS