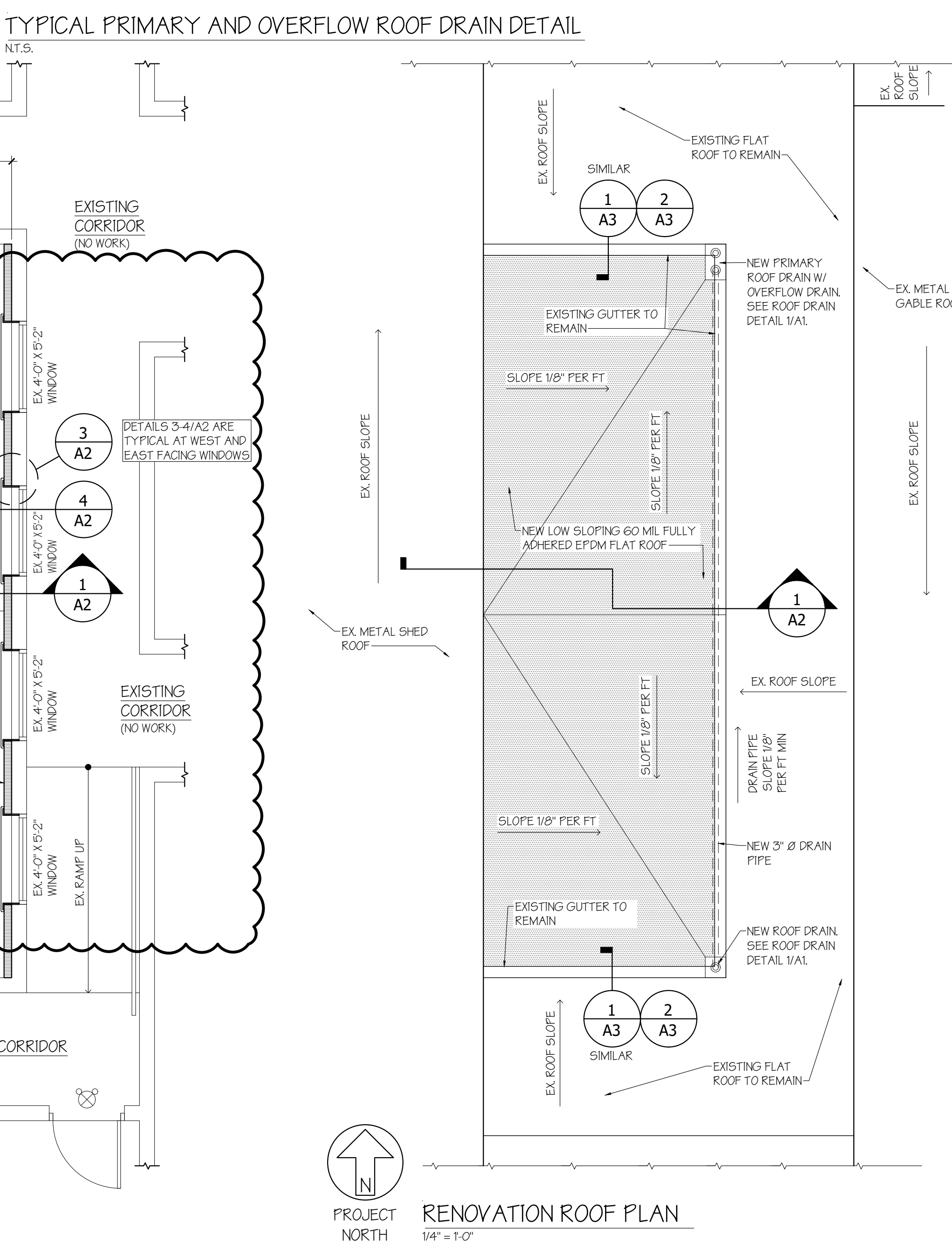
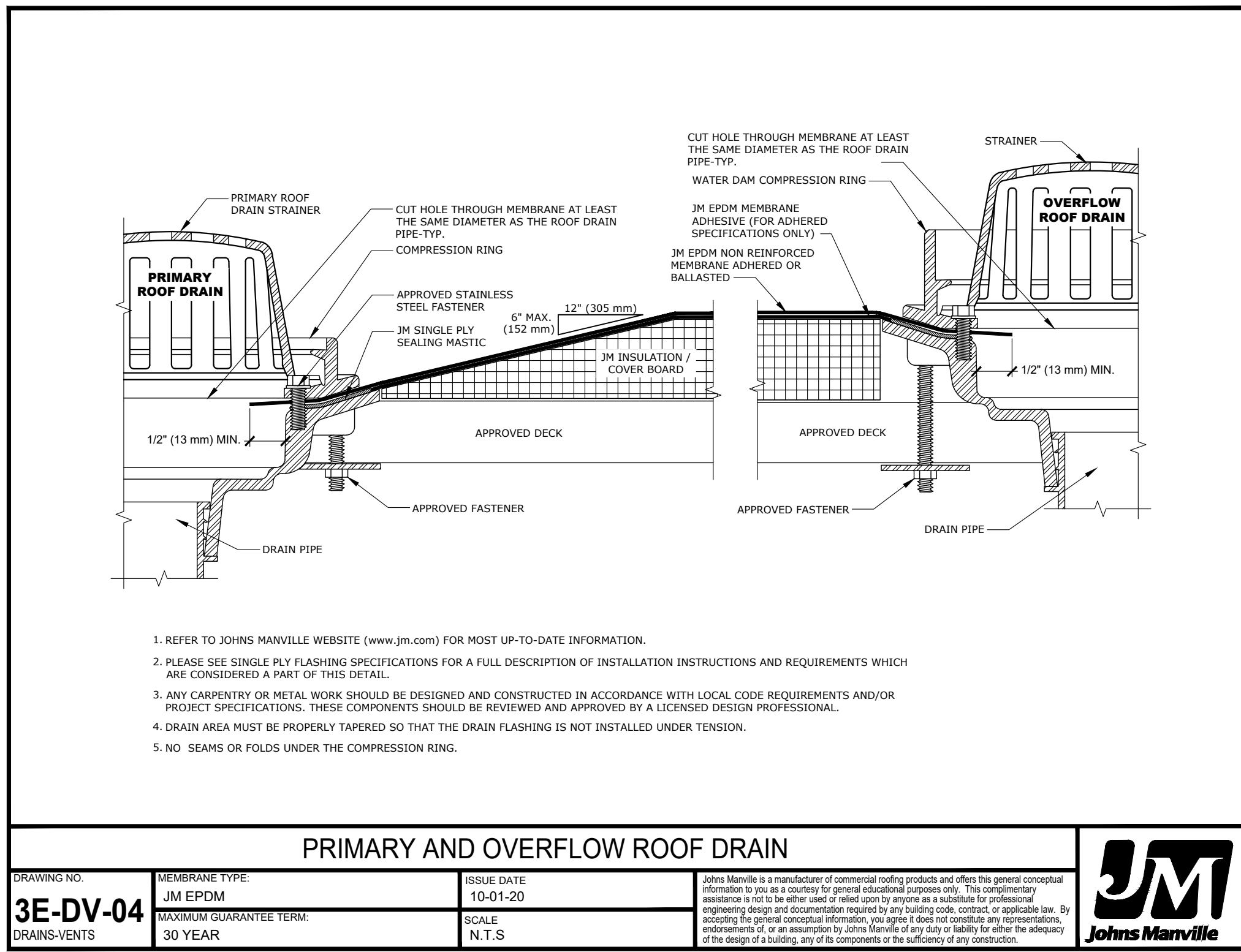


GENERAL PROJECT REQUIREMENTS:

- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE 2009 IBC, 2021 NFPA 101 LIFE SAFETY CODE, AND ALL CODES, RULES AND REGULATIONS OF THE STATE OF DELAWARE AND THE CITY OF DOVER AT THE TIME OF PERMIT APPLICATION.
- WRITTEN DIMENSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ON DRAWINGS ARE TO EXTERIOR FACE OF SHEATHING TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK BEFORE PROCEEDING. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATION(S) SHALL BE RESOLVED BY THE ARCHITECT AND CONTRACTOR BEFORE START OF CONSTRUCTION OR THE CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY THE SAME.
- EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE JOINING OF HIS WORK TO THE WORK OF OTHER TRADES. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CONTRACTOR UPON DISCOVERY, OR BEFORE PROCEEDING WITH THE WORK OR THE SUB-CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY TO RECTIFY THE SAME.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF THE CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW & APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR TOILET ACCESSORIES, MECHANICAL, ELECTRICAL, & OTHER ITEMS AS NECESSARY.
- ALL DOOR SIZES SHALL BE FIELD MEASURED & VERIFIED PRIOR TO FABRICATION OR PLACING OF ORDER.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OF CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR JOB SAFETY AND SHORING AND BRACING OF ALL CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE DURING THE CONSTRUCTION FOR PROVIDING PROTECTION AS NECESSARY TO PRESERVE & MAINTAIN THE BUILDING, GROUNDS, LANDSCAPING, & ADJACENT BUILDINGS & MATERIALS, & TO ASSURE THE SAFETY OF THE PUBLIC.
- THE CONTRACTOR IS TO CONFINE OPERATIONS & STORAGE TO THE WORK AREA APPROVED BY THE OWNER. THE WORK AREAS & THE BUILDING AREA TO BE KEPT CLEAN & ORDERLY. PROVIDE NECESSARY SIGNAGE, BARRICADES, FENCING, & LIGHTING AS REQUIRED FOR SECURITY & TO RESTRICT SITE ACCESS. NORMAL PUBLIC ACCESS & USE OF THE BUILDING SHALL BE MAINTAINED IN A SAFE & ORDERLY MANNER DURING NORMAL BUSINESS HOURS.
- AT THE TIME OF PROJECT CLOSEOUT, THE CONTRACTOR SHALL CLEAN HIS WORK. LISTED BELOW ARE THE CLEANING OPERATIONS TO BE PERFORMED:
 - REMOVE NON-PERMANENT PROTECTION & LABELS.
 - POLISH GLASS
 - CLEAN EXPOSED FINISHES
 - TOUCH UP MINOR FINISH DAMAGE
 - CLEAN OR REPLACE ALL MECHANICAL SYSTEMS FILTERS.
 - REMOVE & DISPOSE OF ALL DEBRIS FROM SITE.
 - BROOM CLEAN UNOCCUPIED SPACES.
 - CLEAN PLUMBING & LIGHT FIXTURES. REPLACE BURNED OUT LAMPS.
 - CLEAN & WAX RESILIENT FLOORING. VACUUM ALL CARPETS.
- ALL WOOD FRAMING LUMBER IN CONTACT WITH MASONRY OR CONCRETE SURFACES SHALL BE PRESSURE TREATED.
- TEMPORARY HEATING, COOLING, & VENTILATION.
 - GYPSUM BOARD - 55°F MINIMUM DAY & NIGHT DURING ENTIRE JOINT TREATMENT OPERATION & UNTIL EXECUTION OF CERTIFICATE OF SUBSTANTIAL COMPLETION.
 - RESILIENT FLOORING - 70°F MINIMUM DURING APPLICATION.
 - PAINTING - 55°F MINIMUM DURING PAINTING OPERATIONS & UNTIL DRY.
- ALL EXTERIOR JOINTS CRACKS & HOLES IN THE ADDITION BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED. THIS INCLUDES (BUT IS NOT NECESSARILY LIMITED TO) AROUND WINDOWS & DOOR FRAMES, BETWEEN WALL & FOUNDATION, BETWEEN WALL & ROOF, BETWEEN NEW AND EXISTING WALLS, AND UTILITY PENETRATIONS.
- ALL PAINTED & COVERED GYPSUM BOARD SURFACES SHALL RECEIVE A 5 COAT TAPE & SPACKLE SYSTEM. ALL GYPSUM BOARD SHALL BE SCREWED TO THE SUB-FRAMING.
- ALL GYPSUM BOARD WALL & CEILING SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS OF PAINT.
- (REMOVED)
- FINISH ALL NON-LOAD BEARING INTERIOR PARTITIONS WITH 1 LAYER 5/8" GYPSUM BOARD ON EACH FACE & 3/4" UN-FACED MINERAL FIBER BLANKET INSULATION IN STUD CAVITY.
- ALL SOIL IN CONTACT WITH NEW CONSTRUCTION SHALL BE TREATED TO PREVENT TERMITTE INFESTATION. THE CONTRACTOR SHALL SUBMIT A CERTIFICATION OF TERMITTE TREATMENT TO THE OWNER PRIOR TO POURING THE FOOTINGS.



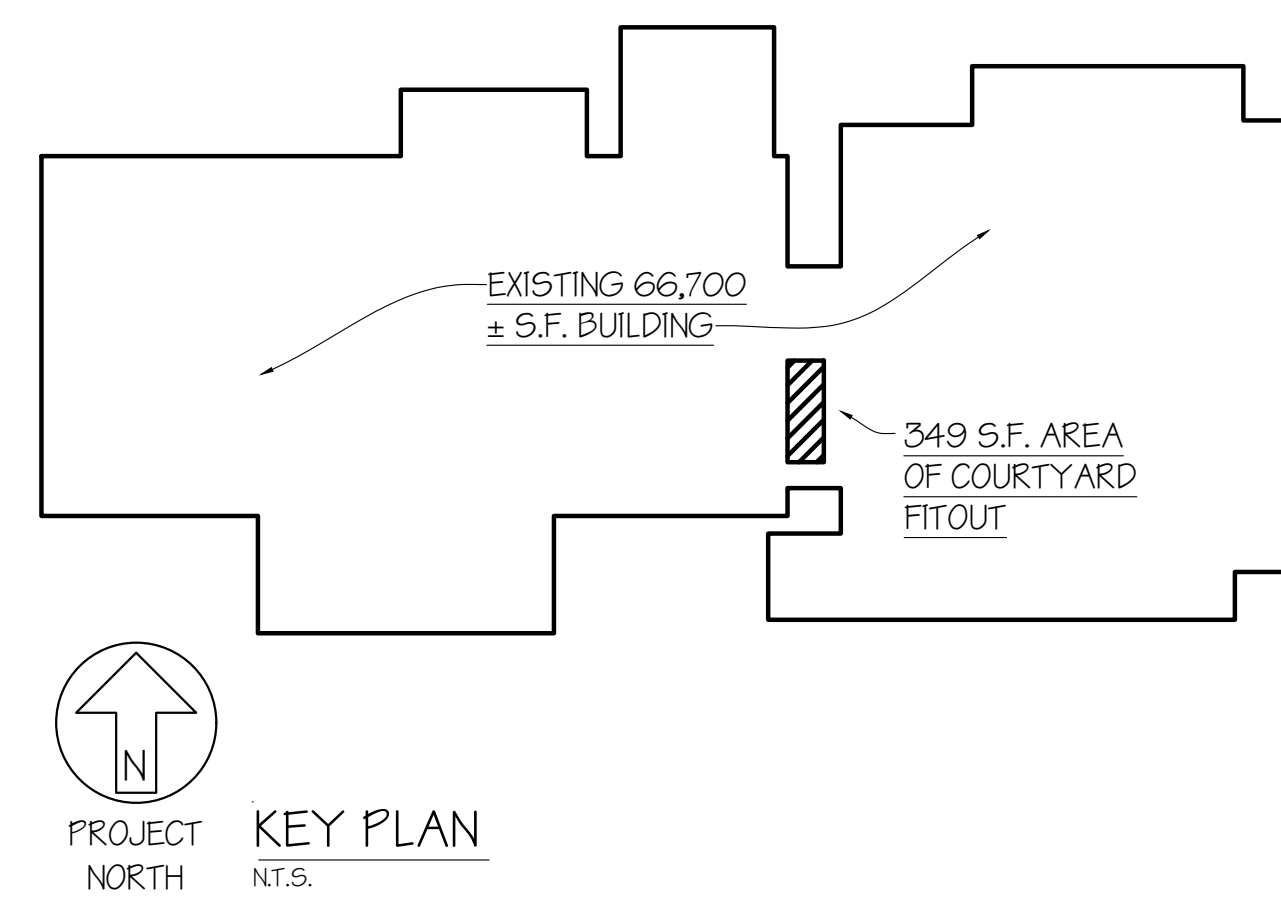
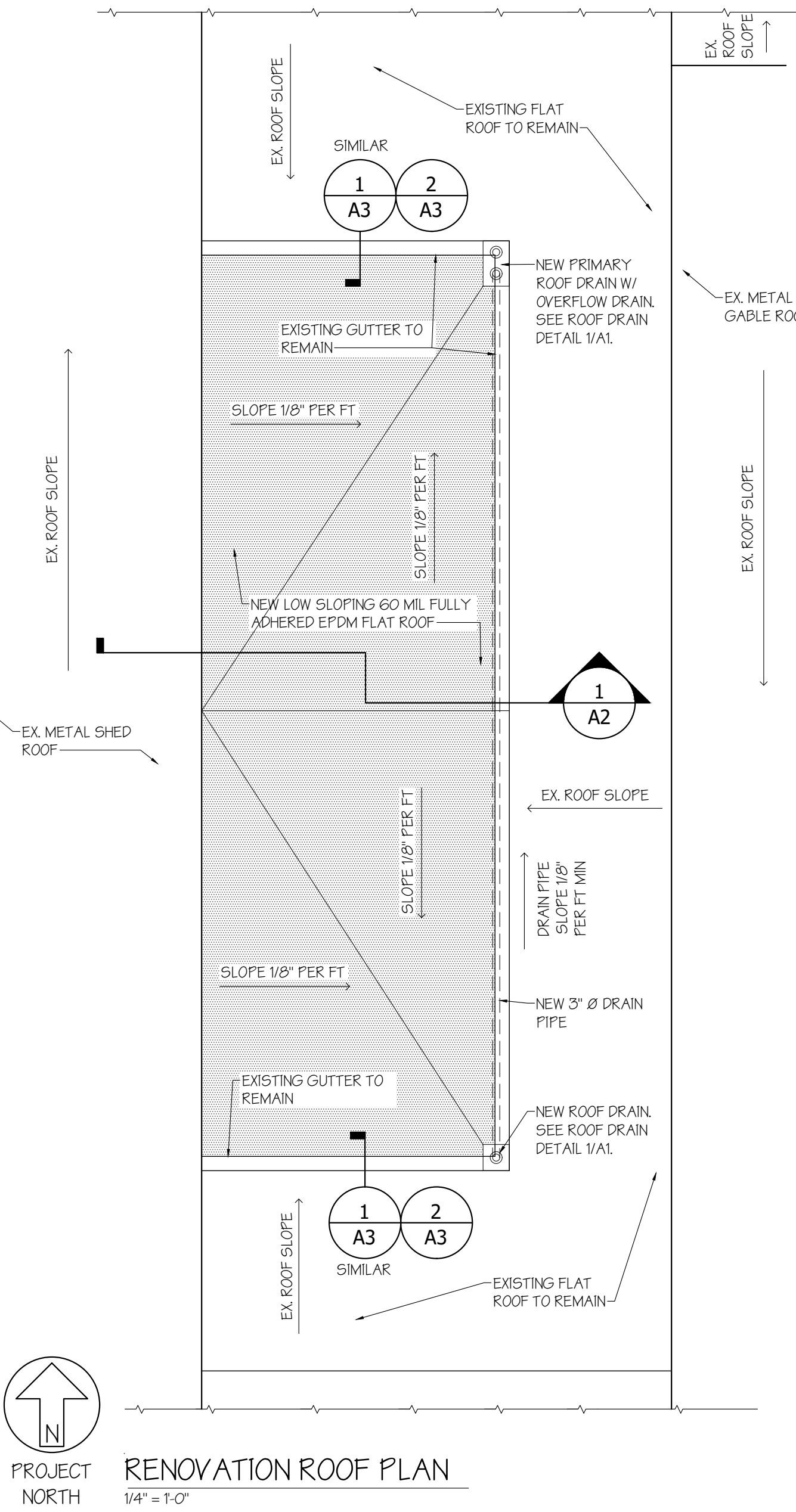
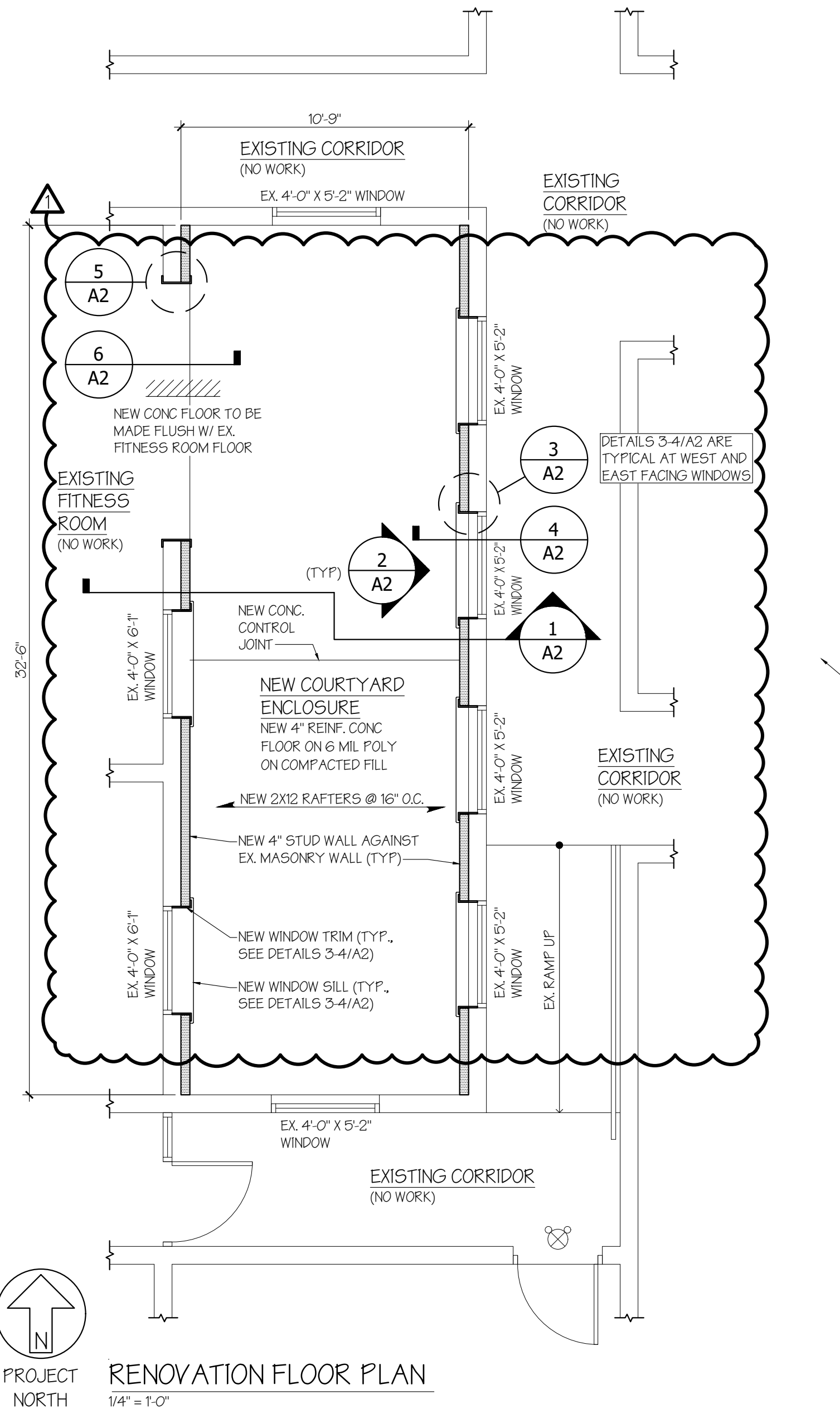
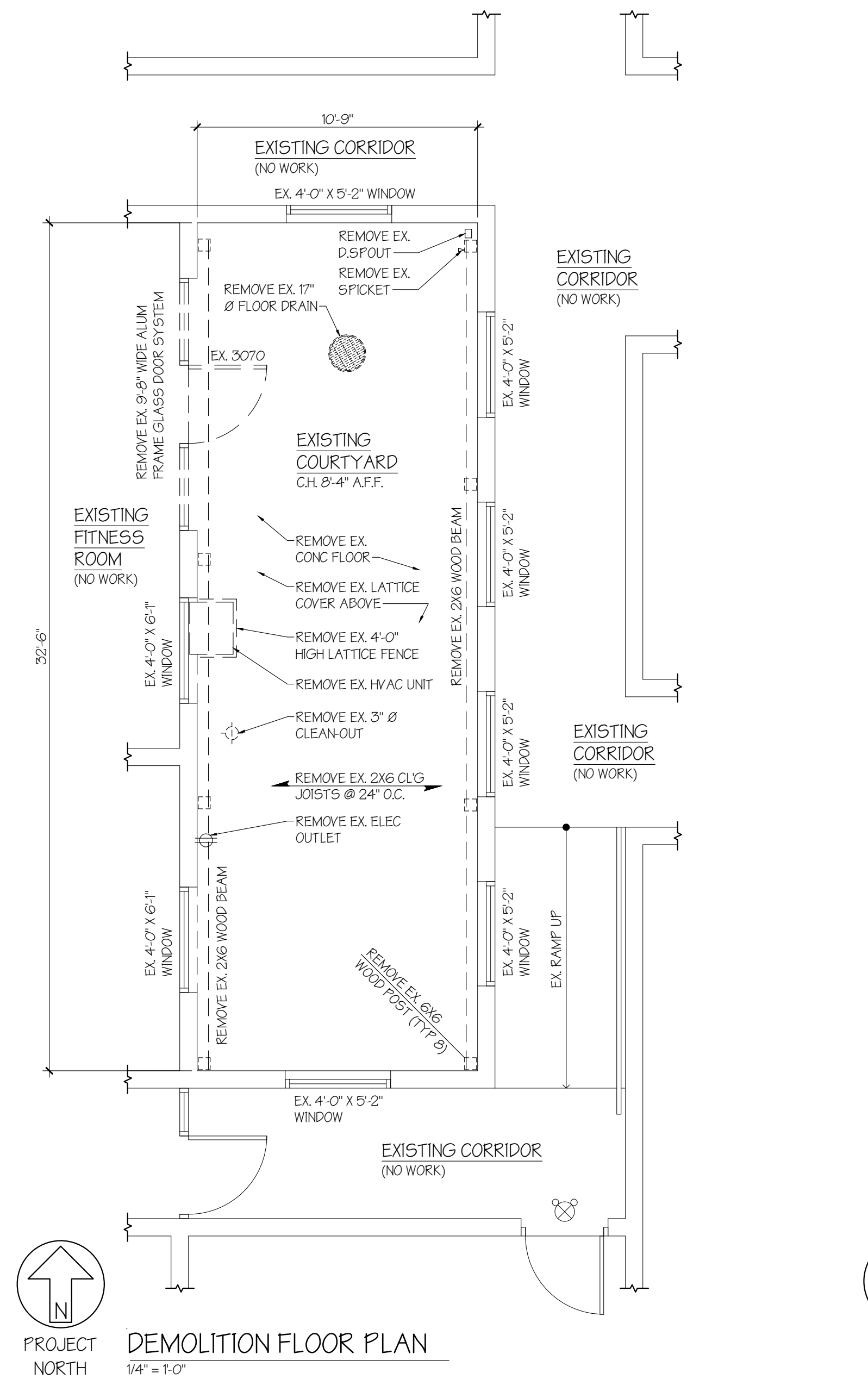
**NEW ENCLOSURE / FIT OUT FOR
MMC COURTYARD**

1121 FORREST AVENUE
DOVER, DELAWARE 19904

2009 IBC PROJECT DATA SUMMARY:

| | |
|------------------------------------|---|
| OWNER'S NAME AND ADDRESS: | MODERN MATURITY CENTER, INC 1121 FORREST AVENUE DOVER, DELAWARE 19904 |
| TAX MAP NUMBER: | 2-05-07607-01-2500-00001 |
| ZONING: | IO - INSTITUTIONAL / OFFICE |
| CODES: | CITY OF DOVER MUNICIPAL CODE, CHAPTER 22 BUILDING REGULATIONS, AND CHAPTER 46 FIRE PROTECTION AND PREVENTION IBC YEAR 2009 IEBC YEAR 2009 IFC YEAR 2009 IMC YEAR 2009 NFPA 101 LIFE SAFETY CODE 2021 ICC / ANS I17-1 2009 |
| BUILDING AREA: | 66,700 S.F. ± |
| AREA OF FIT-OUT: | 349 S.F. ± 0.52% OF TOTAL BUILDING AREA |
| CONSTRUCTION TYPE: | IB |
| ALTERATION LEVEL: | LEVEL 2 PER IBC 404 |
| AUTOMATIC SPRINKLER SYSTEM: | NORMAL |
| FIRE ALARM SYSTEM: | |

- DRAWING LIST:**
- ARCHITECTURAL:**
- A1 - COVER SHEET, GENERAL NOTES, PROJECT DATA, DEMOLITION FLOOR PLAN, RENOVATION FLOOR PLAN, RENOVATION ROOF PLAN, ROOF DRAIN DETAIL, KEY PLAN
 - A2 - SECTION, INTERIOR ELEVATION, DETAILS, ROOM FINISH SCHEDULE
 - A3 - DETAILS
- MEP:**
- PD-1 - PLUMBING - DEMOLITION PLAN
 - P-1 - PLUMBING - NEW WORK PLAN
 - MD-1 - MECHANICAL - HVAC DEMOLITION PLAN
 - M-1 - MECHANICAL - HVAC NEW WORK PLAN
 - M-2 - MECHANICAL - NOTES AND SCHEDULES
 - ED-1 - ELECTRICAL - POWER DEMOLITION PLAN
 - E-1 - ELECTRICAL - NEW WORK PLAN



| REVISIONS | BY |
|--|-----|
| CITY OF DOVER PERMIT SET - 10/4/2024 | |
| REVISED BID SET ADD. NO. 2 - 1/10/2025 | WHL |
| | |
| | |

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE. LICENSE NUMBER 6242, EXPIRATION DATE 12-31-2027

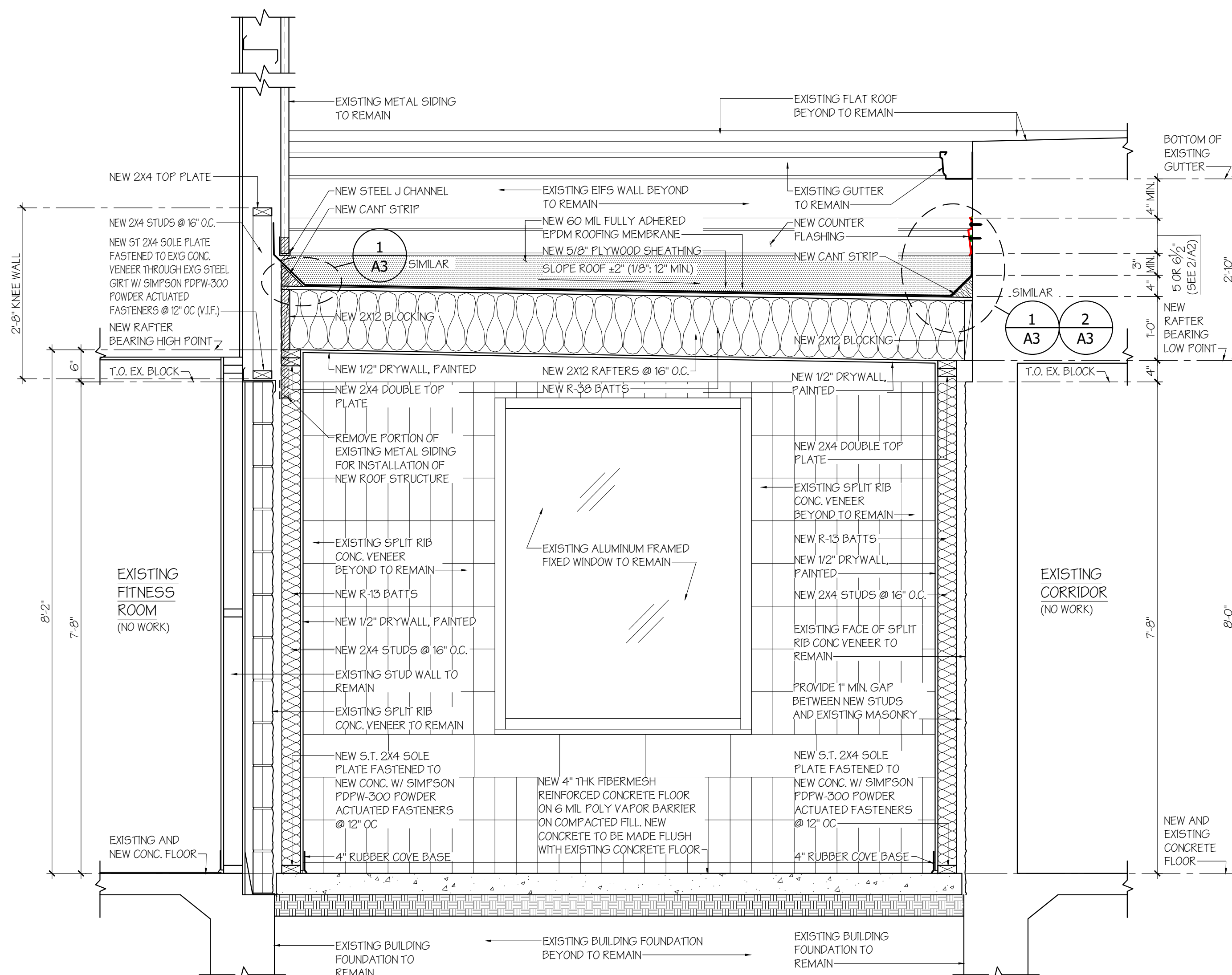
WMB JBLER JR. ARCHITECT INC.
 PO Box 104, Kenton, DE 19955
 Phone: 302-653-3550
 Cell: 302-359-3313
 bill@wbljarchitect.com
 www.wbljarchitect.com

F R E E D O M I N C R E D I T

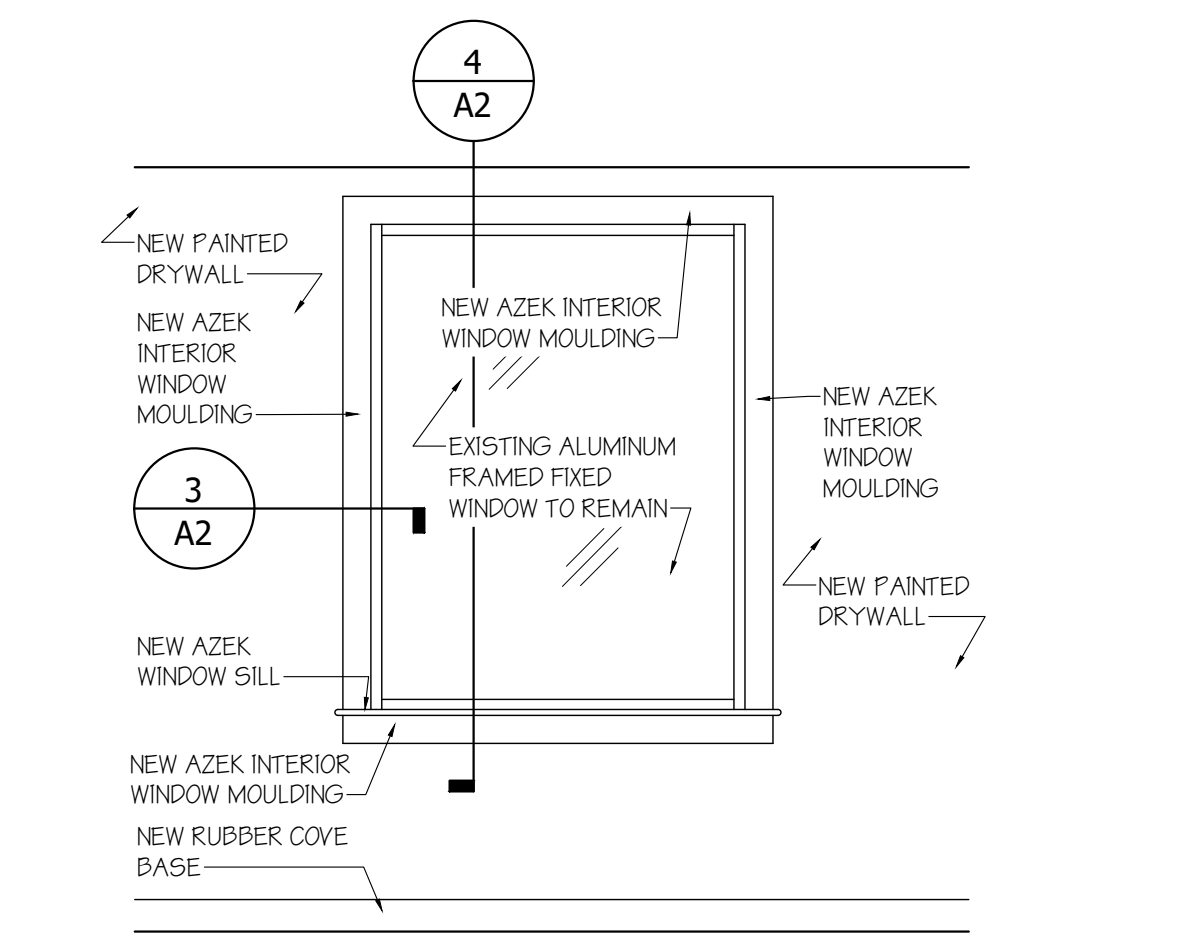
NEW ENCLOSURE / FIT-OUT FOR
MMC COURTYARD
1121 FORREST AVE
DOVER, DE 19904

COVER SHEET,
GENERAL NOTES,
PROJECT DATA,
DEMOS, RENO,
ROOF, ROOF
DRAIN DETAIL, &
KEY PLANS

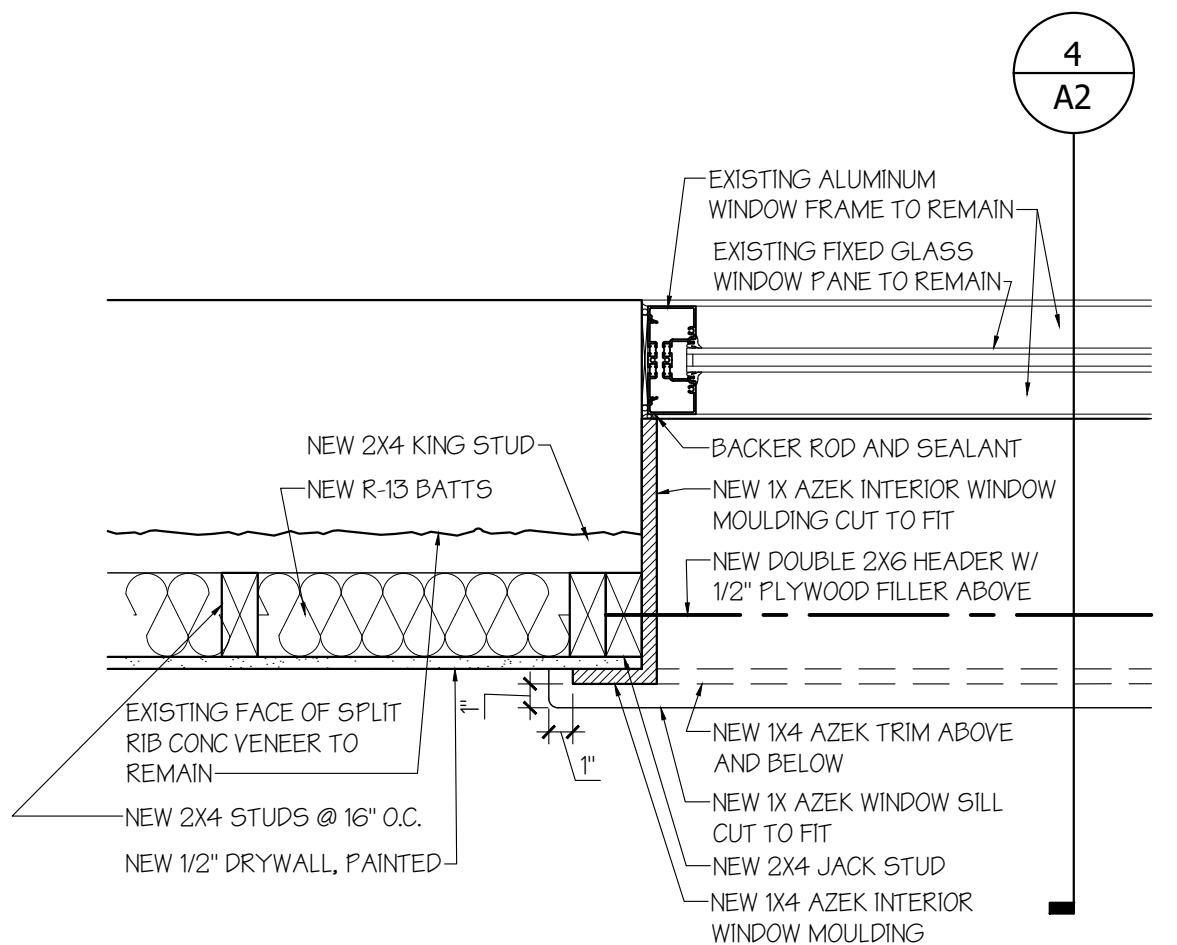
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|-----------|----------------|
| DRWN | WHL |
| CHECKED | W.B. |
| DATE | 4 OCTOBER 2024 |
| SCALE | NOTED |
| SHEET NO. | C1654-0124 |
| SHEET | AI |



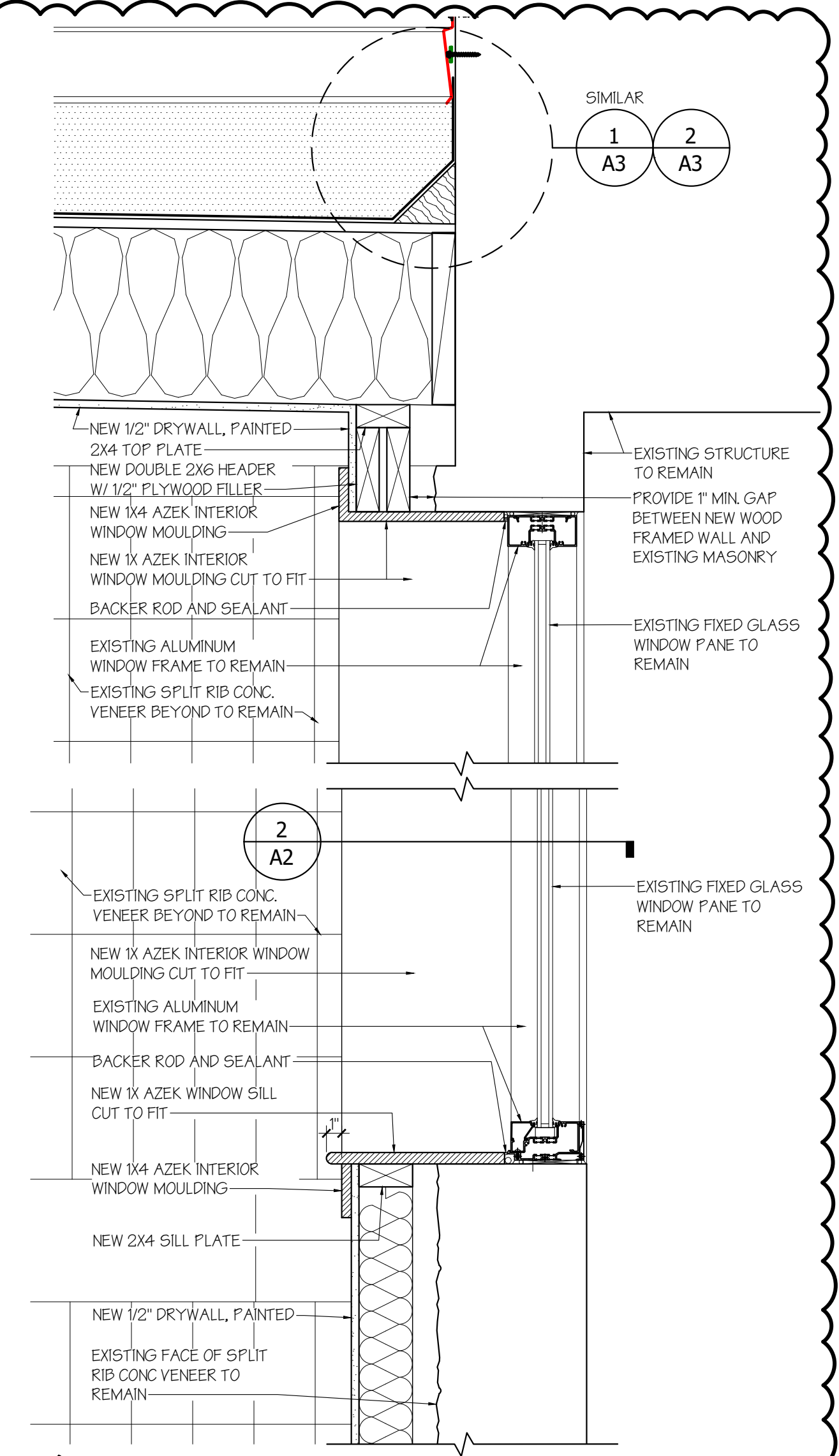
1 SECTION @ NEW COURTYARD ENCLOSURE
3/4" = 1'-0"



2 TYPICAL INTERIOR WINDOW ELEVATION @ NEW WALLS
1/2" = 1'-0"



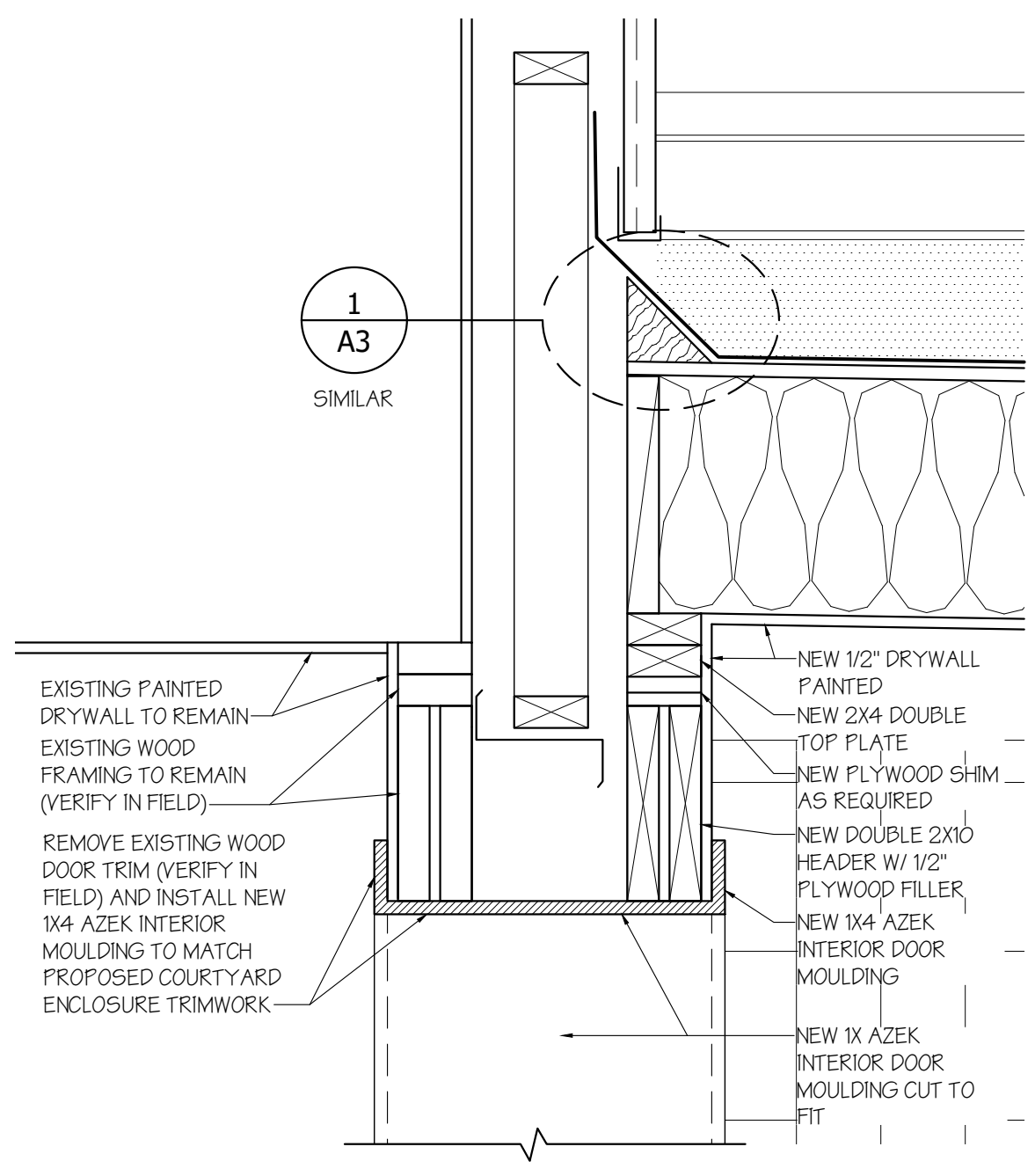
3 PLAN VIEW WINDOW SILL DETAIL
1/2" = 1'-0"



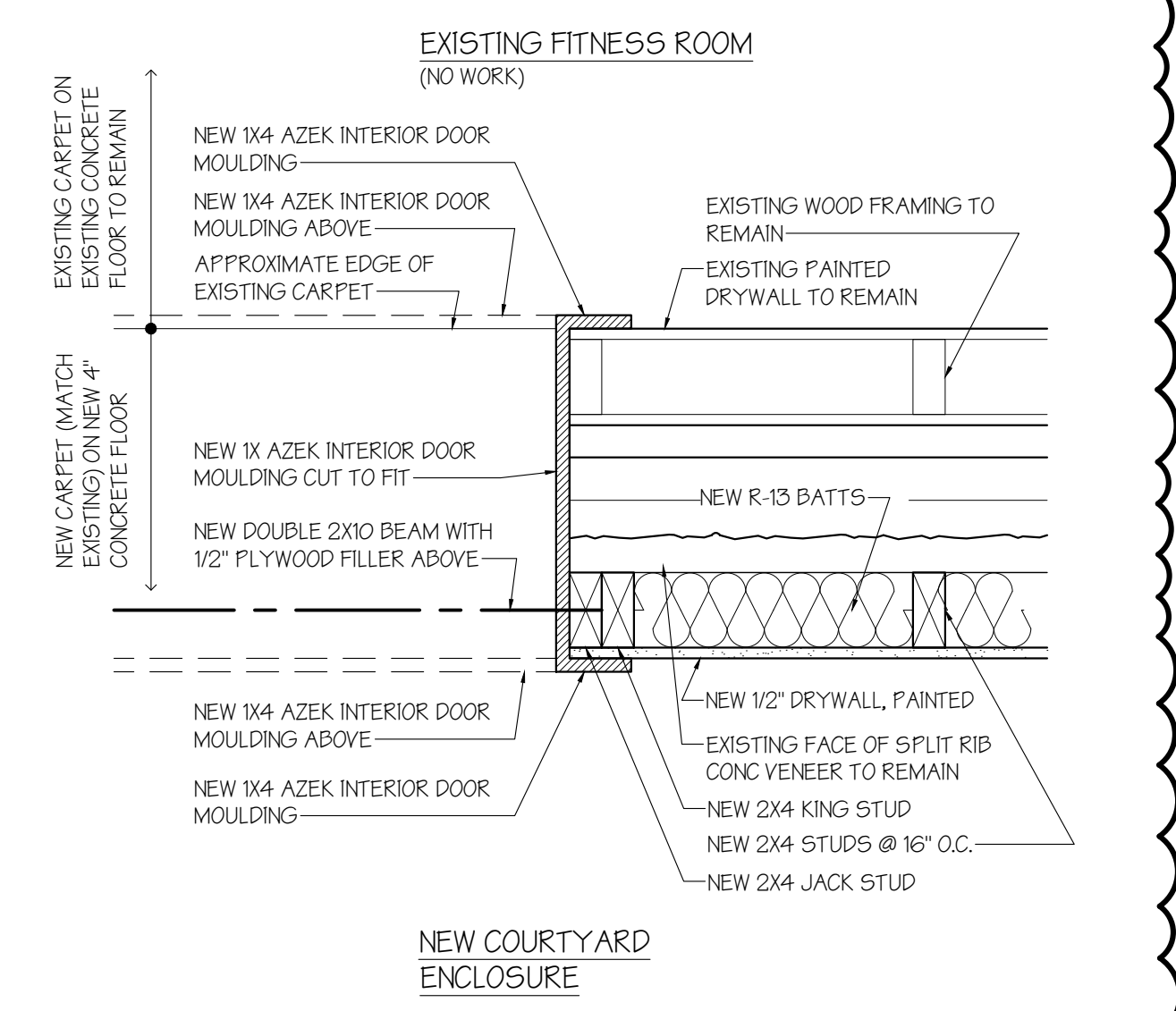
4 WINDOW SILL DETAIL
1/2" = 1'-0"

| ROOM NAME | FLOOR | BASE | WALLS | | | | CEILING TYPE | CEILING HEIGHT | REMARKS | |
|-------------------------|---------------------|---------------------------|--------------------------|------------------------------------|---|--------------------------|------------------------------------|---|-----------------------------------|--|
| | | | ONE | TWO | THREE | FOUR | | | | |
| NEW COURTYARD ENCLOSURE | NEW 2X2 CARPET TILE | EXISTING CARPET TO REMAIN | NEW PAINTED 1/2" DRYWALL | EXISTING PAINTED DRYWALL TO REMAIN | EXISTING SPLIT RIB CONCRETE BLOCK TO REMAIN | NEW PAINTED 1/2" DRYWALL | EXISTING PAINTED DRYWALL TO REMAIN | EXISTING ACUSTICAL CEILING TILE TO REMAIN | 7'-8" TO 8'-2" (SEE SECTION 1/A2) | (1) NEW CARPET TO MATCH EXISTING CARPET OF EXISTING ADJACENT FITNESS ROOM, (2) RUBBER BASE AT DRYWALL WALLS ONLY |
| EXISTING FITNESS ROOM | | | | | | | | | | NO WORK PROPOSED |

ROOM FINISHES - BASIC SPECIFICATIONS:
 1) 2X2 CARPET TILE: MOHAWK - CITYSCOPE - TUFTED - GA200 OR EQUAL - USE MAPEI GLUE
 2) RUBBER BASE - ROPPE OR EQUAL - 4" COVED
 3) PAINT - SHERWIN-WILLIAMS OR EQUAL
 - CEILING - PREMIUM CEILING PAINT - FLAT
 - WALLS - EMERALD DESIGNER LATEX EGGSHELL



5 DOOR TRIM DETAIL
1/2" = 1'-0"



6 PLAN VIEW DOOR TRIM DETAIL
1/2" = 1'-0"

| REVISIONS | BY |
|--|-----|
| CITY OF DOVER PERMIT SET - 10/4/2024 | |
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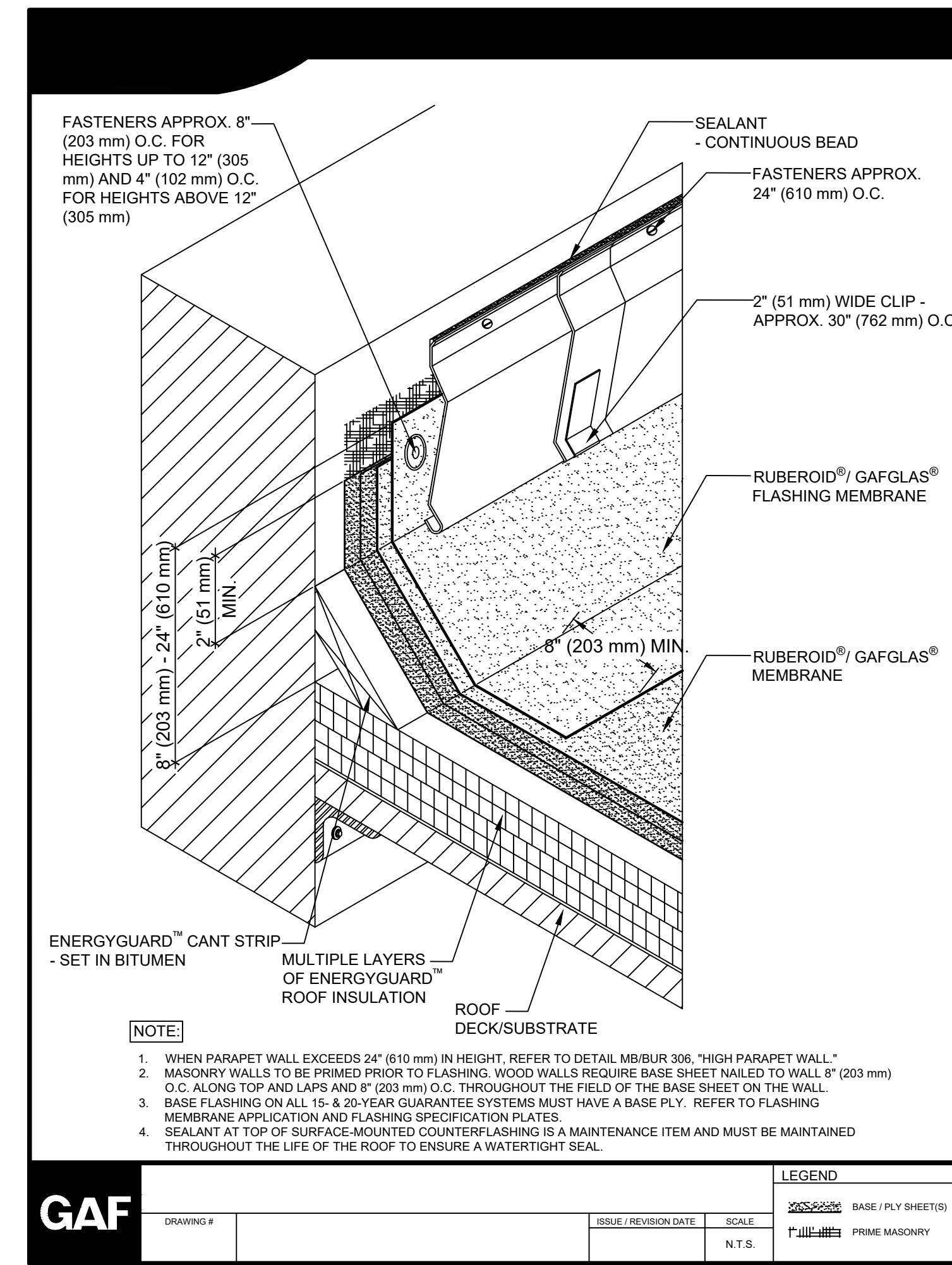
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 bill@wbjarchitect.com
 www.wbbylerarchitect.com

W B J
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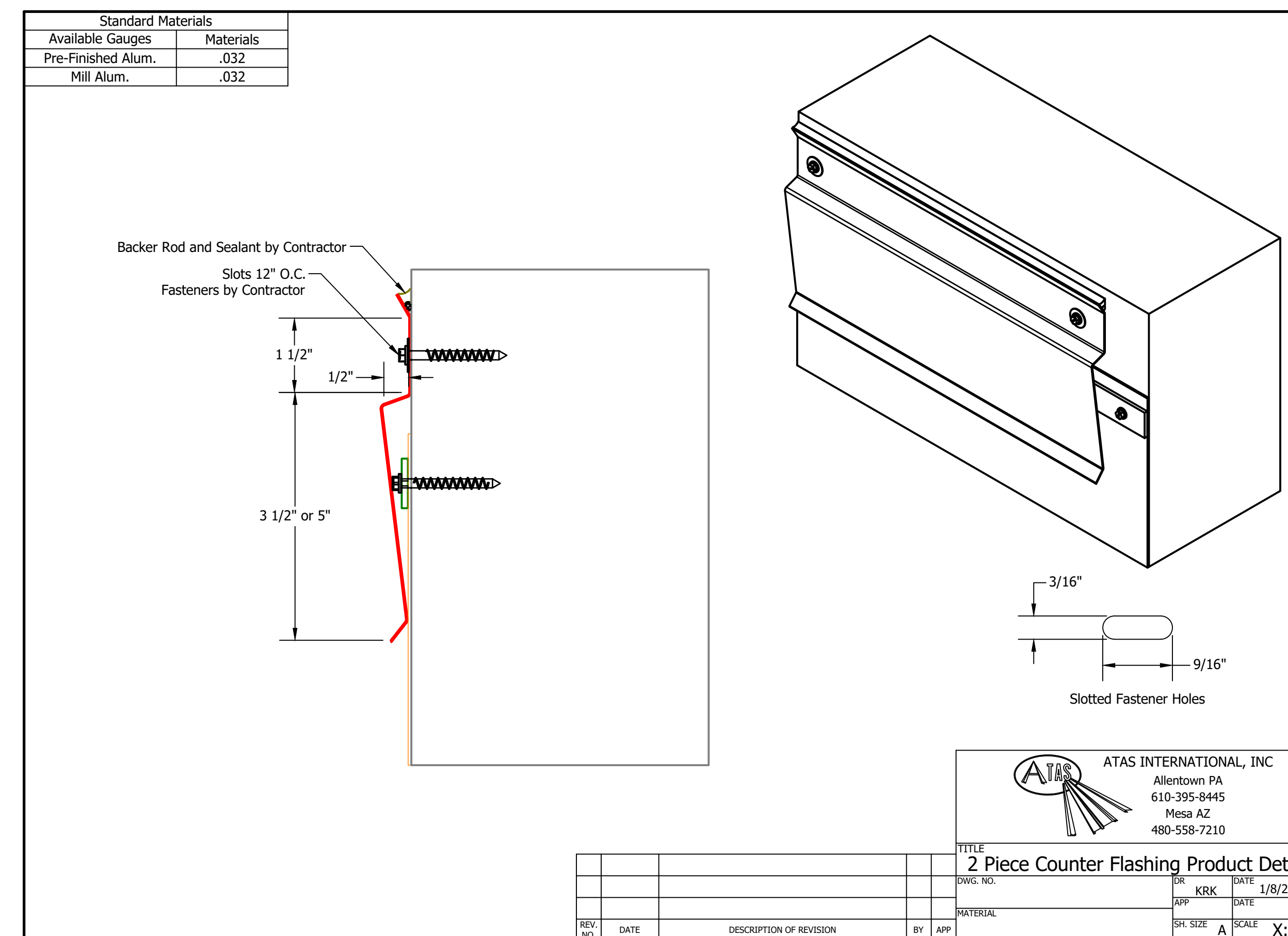
NEW ENCLOSURE / FIT-OUT FOR
MMC COURTYARD
 1121 FOREST AVE
 DOVER, DE 19904

SECTION,
 INTERIOR
 ELEVATION,
 DETAILS, ROOM
 FINISH
 SCHEDULE

| |
|------------------------|
| DRWN WHL |
| CHECKED W.B. |
| DATE 4 OCTOBER 2024 |
| SCALE NOTED |
| JOB NO. C1654-0124 |
| SHEET A2 |



1 TYPICAL EPDM ROOF DETAIL @ WALL
N.T.S.



2 TYPICAL COUNTER FLASHING DETAIL
N.T.S.

| REVISIONS | BY |
|--|-----|
| CITY OF DOVER PERMIT SET - 10/4/2024 | |
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F R E E D O M I N C R E A T I V I T Y

NEW ENCLOSURE / FIT-OUT FOR
MIMC COURTYARD
1121 FORREST AVE
DOVER, DE 19904

DETAILS

DRWN: WHL
CHECKED: W.B.
DATE: 4 OCTOBER 2024
SCALE: NOTED
JOB NO: C1654-0124
SHEET: A3