

ADMINISTRATIVE SITE PLAN

MODERN MATURITY CENTER LONGWOOD ENTRANCE

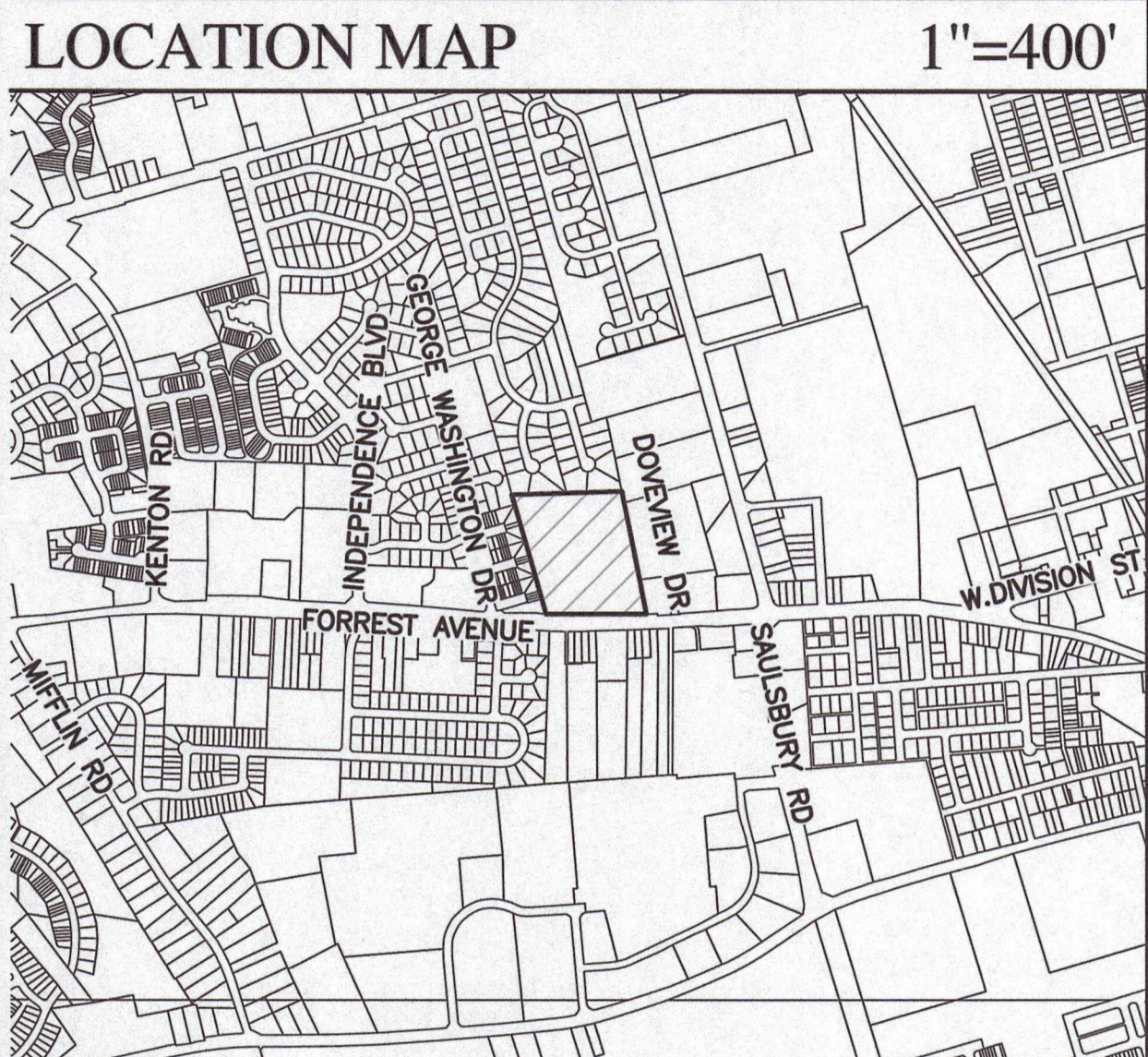
EAST DOVER HUNDRED - KENT COUNTY
STATE OF DELAWARE

DATA COLUMN

1. TAX PARCEL ID#: ED05-076.07-01-25.00
2. OWNER:
MODERN MATURITY CENTER
1121 FORREST AVENUE
DOVER, DE 19904
3. ENGINEER OF RECORD:
MOUNTAIN CONSULTING, INC.
103 S. BRADFORD ST.
DOVER, DE 19904
302-744-9875
4. EXISTING ZONING: INSTITUTIONAL/OFFICE (IO) WITH CORRIDOR OVERLAY (COZ-1)
5. USE OF PROPERTY: PUBLIC ASSEMBLY, PHYSICAL THERAPY
6. PARCEL AREA: 13.59± ACS.
7. TOTAL BUILDING EXPANSION: 1,348± S.F. (0.03± ACS.) FOOTPRINT
ADDED ROOFED/UNCONDITIONED: 1,223± S.F. (0.03± ACS.)
ADDED INTERIOR/CONDITIONED: 125± S.F. (0.00± ACS.)
8. PROPOSED LAND DISTURBANCE: 3,256± S.F. (0.07± ACS.)
9. PROPOSED PAVEMENT MILL/OVERLAY: 597± S.F. (0.01± ACS.)
10. PROPOSED IMPERVIOUS INCREASE: 161± S.F. (0.00± ACS.)
11. IMPERVIOUS AREA:
BUILDINGS: 80,179± S.F. (2.1± ACS.)
PAVEMENTS: 218,879± S.F. (5.0± ACS.)
TOTAL IMPERVIOUS: 309,058± S.F. (7.1± ACS.)
PROPOSED LOT COVERAGE: 52.2%
ALLOWABLE LOT COVERAGE: 85%
12. PARKING DATA:
NO CHANGES TO PARKING
13. SURVEY DATUM:
VERTICAL: NAVD 88
HORIZONTAL: DELAWARE STATE PLANE (NAD83)
14. WATER SUPPLY: CITY OF DOVER
15. SANITARY SEWER: CITY OF DOVER
16. ELECTRIC SUPPLY: CITY OF DOVER
17. SOILS: HAMBROOK-URBAN LAND COMPLEX PER USGS WEB SOIL SURVEY.
18. FLOOD ZONE: THIS SITE IS WITHIN 'ZONE X' ON FEMA FIRM PANEL 10001C0166H DATED 5/5/2003 AND IS NOT IMPACTED BY THE 100 YEAR FLOODPLAIN.
19. WETLANDS: THIS SITE IS NOT IMPACTED BY WETLANDS PER DNREC STORMWATER ASSESSMENT STUDY GIS 2.3.
20. MONUMENTS: FOUND - NONE
INSTALLED - NONE

GENERAL NOTES

1. PARTIAL TOPOGRAPHIC SURVEY PERFORMED BY MOUNTAIN CONSULTING, INC. IN MARCH 2024.
2. BOUNDARY INFORMATION SHOWN IS FROM PLANS AND DEEDS OF RECORD (BK.39/PG.226, BK.123/PG.43, BK.7691/PG.326, DELDOT 82-102-05) AND BOUNDARY SURVEY TIES BY MOUNTAIN CONSULTING, INC. IN MARCH 2024.
3. EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE ELECTRIC, CABLE TV, GAS, WATER, SEWER, FORCE MAINS AND STORM DRAINAGE ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE CITY, OWNER, AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE/SHE DOES SO AT HIS/HER OWN RISK. THE PROVISION OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS/HER OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE CITY'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONDUCT HIS OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
4. THE CONTRACTOR SHALL PROVIDE STAKEOUT SURVEY NECESSARY FOR THE BUILDING CONSTRUCTION, PARKING LOT CONSTRUCTION, THE INSTALLATION OF UTILITY WORK AND APPURTENANCES.
5. PARKING SPACES RESERVED FOR USE BY THE HANDICAPPED AND RELATED ACCESSIBLE ROUTES SHALL REMAIN IN OPERATION THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND FOLLOWING AGENCIES TWO WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL APPRISE AND COORDINATE DURING ALL PHASES OF CONSTRUCTION.
MOUNTAIN CONSULTING, INC. - (302) 744-9875
CITY OF DOVER - (302) 736-7010
7. DEBRIS DISPOSAL: NO DEBRIS WILL BE BURIED OR DISPOSED OF ON THIS SITE.
8. DRAINAGE, EROSION AND SEDIMENT CONTROL, AND STORMWATER MANAGEMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS AND THE KENT CONSERVATION DISTRICT CODE.
9. THE PARKING AREAS ARE PRIVATELY MAINTAINED AND ARE NOT INTENDED FOR DEDICATION.
10. FIRE PROTECTION: ALL FIRE LANES, FIRE HYDRANTS, SPRINKLERS, STANDPIPE CONNECTIONS AND FIRE EXITS SHALL BE MARKED AND PROTECTED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS.
11. ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF DOVER AND THE STATE OF DELAWARE (DEL-DOT) STANDARDS AND CONSTRUCTION SPECIFICATIONS.
12. THE SITE CONTRACTOR SHALL CONTACT THE CITY OF DOVER PUBLIC WORKS CONSTRUCTION MANAGER AT (302) 736-7025 PRIOR TO THE START OF CONSTRUCTION. A REPRESENTATIVE FROM THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS MUST OBSERVE AND APPROVE ALL CITY OWNED WATER AND SANITARY SEWER INTERCONNECTIONS AND TESTING.
13. HYDRANT CONNECTIONS BY THE CONTRACTOR ARE PROHIBITED. THIS METHOD MAY NOT BE UTILIZED DURING ANY PHASE OF THE PROJECT.
14. ANY EXISTING SANITARY SEWER LINES NOT TO BE UTILIZED BY THE PROPOSED FACILITY MUST BE PROPERLY ABANDONED AT THE MAINS IN ACCORDANCE WITH THE CITY OF DOVER DEPARTMENT OF WATER & WASTEWATER SPECIFICATIONS AND REQUIREMENTS.
15. PART II, CHAPTER 180, ARTICLE III, SECTION 180-10 OF THE CODE OF KENT COUNTY REQUIRES THAT NO PERSON SHALL DISCHARGE OR CAUSE TO BE DISCHARGED ANY STORMWATER, SURFACE WATER, UNCONTAMINATED GROUNDWATER, ROOF RUNOFF, SUBSURFACE DRAINAGE, UNCONTAMINATED NONCONTACT COOLING WATER OR UNPOLLUTED INDUSTRIAL PROCESS WATERS TO ANY SANITARY SEWER, THIS SHALL INCLUDE CONDENSATE. SEC. 110-231 OF THE CITY OF DOVER CODE DEFINES STORM SEWER AS "...ANY SYSTEM USED FOR CONVEYING RAIN WATER, SURFACE WATER, CONDENSATE, COOLING WATER OR SIMILAR LIQUID WASTES, EXCLUSIVE OF SEWAGE." THE CONTRACTOR, DEVELOPER, OWNER AND DESIGNERS SHALL ENSURE DURING CONSTRUCTION THAT NO ILLEGAL DISCHARGES TO THE SANITARY SEWER SYSTEM ARE CREATED WITH THE SITE IMPROVEMENTS.
16. NOTIFY DELMARVA811 (POWERED BY MISS UTILITY) (DIAL 811 OR 800.282.8555) 2-10 DAYS PRIOR TO SITE EXCAVATION AND DEMOLITION WORK.



LOCATION MAP 1"=1200'

CERTIFICATION OF OWNERSHIP

WE, MODERN MATURITY CENTER, HEREBY CERTIFY THAT THE OWNER OF RECORD DESIGNATED ABOVE IS THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, AND THAT THE PLAN WAS MADE AT THE DIRECTION OF THE OWNER, AND THAT WE ACKNOWLEDGE THE SAME TO BE IT'S ACT AND DESIRE FOR THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

Carolyn Frick
CAROLYN FRICKS, EXECUTIVE DIRECTOR

9/12/24
DATE

CERTIFICATION OF PLAN ACCURACY

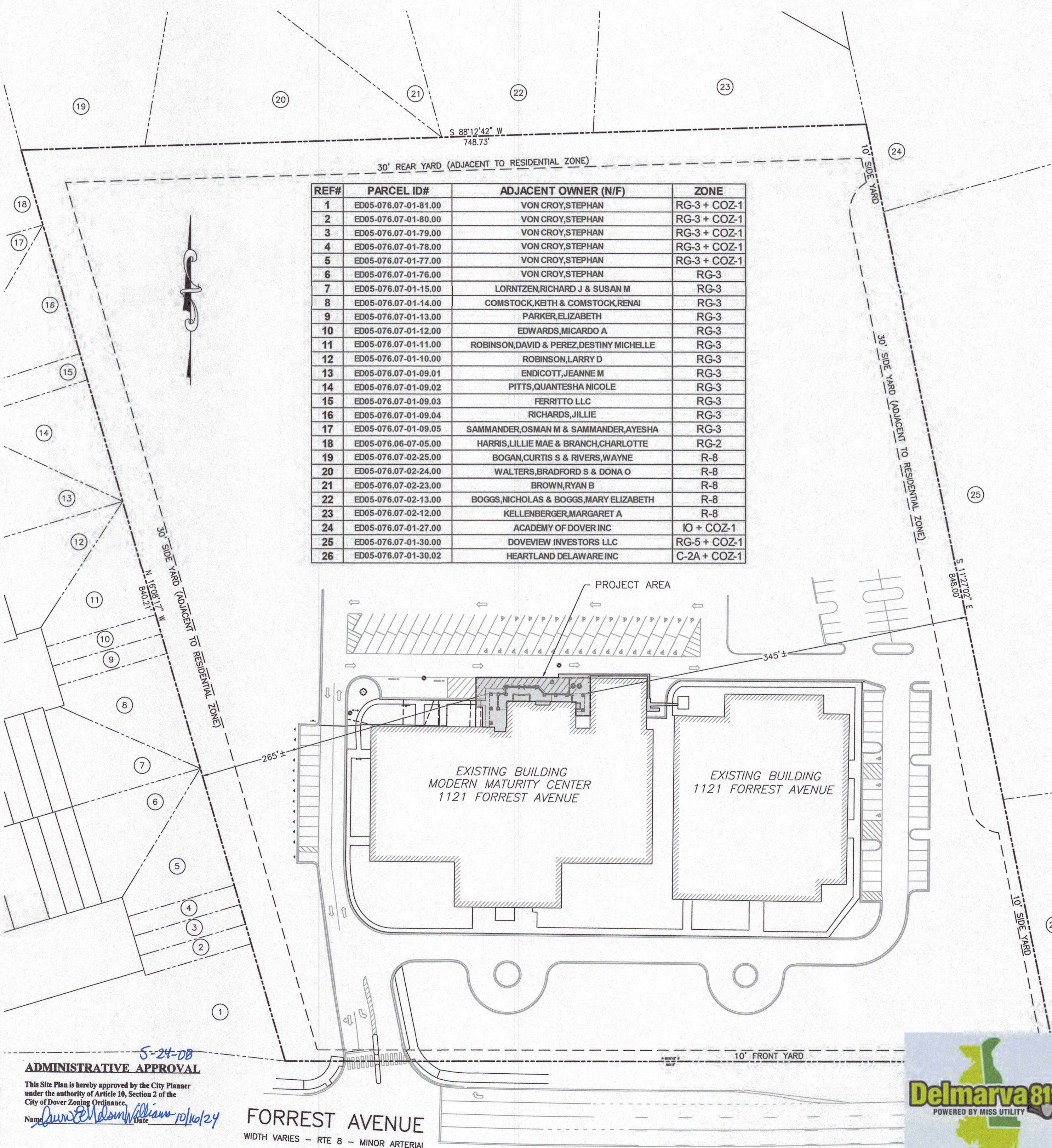
I, KYLE F. BURCHARD, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT ALL OF THE INFORMATION ON THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

Kyle F. Burchard
KYLE F. BURCHARD P.E. LIC. NO. 29205

9/10/24
DATE

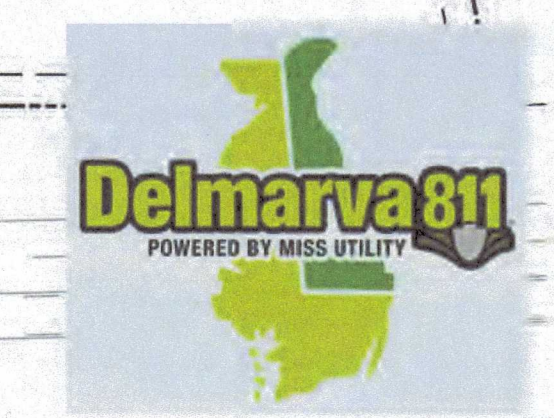
SHEET INDEX

| | |
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| COVER SHEET | SHEET C-01 |
| EXISTING CONDITIONS & DEMO PLANS | SHEET C-02 |
| SITE & GRADING PLANS | SHEET C-03 |
| UTILITY PLAN | SHEET C-04 |
| FIRE MARSHAL SITE PLAN | SHEET C-FM |




| REF# | PARCEL ID# | ADJACENT OWNER (N/F) | ZONE |
|------|----------------------|---|--------------|
| 1 | ED05-076.07-01-81.00 | VON CROY,STEPHAN | RG-3 + COZ-1 |
| 2 | ED05-076.07-01-80.00 | VON CROY,STEPHAN | RG-3 + COZ-1 |
| 3 | ED05-076.07-01-79.00 | VON CROY,STEPHAN | RG-3 + COZ-1 |
| 4 | ED05-076.07-01-78.00 | VON CROY,STEPHAN | RG-3 + COZ-1 |
| 5 | ED05-076.07-01-77.00 | VON CROY,STEPHAN | RG-3 + COZ-1 |
| 6 | ED05-076.07-01-76.00 | VON CROY,STEPHAN | RG-3 |
| 7 | ED05-076.07-01-15.00 | LORNTZEN,RICHARD J & SUSAN M | RG-3 |
| 8 | ED05-076.07-01-14.00 | COMSTOCK,KBTH & COMSTOCK,RENAI | RG-3 |
| 9 | ED05-076.07-01-13.00 | PARKER,ELIZABETH | RG-3 |
| 10 | ED05-076.07-01-12.00 | EDWARDS,MICARDO A | RG-3 |
| 11 | ED05-076.07-01-11.00 | ROBINSON,DAVID & PEREZ,DESTINY MICHELLE | RG-3 |
| 12 | ED05-076.07-01-10.00 | ROBINSON,LARRY D | RG-3 |
| 13 | ED05-076.07-01-09.01 | ENICOTT,JEANNE M | RG-3 |
| 14 | ED05-076.07-01-09.02 | PITTS,QUANTESHA NICOLE | RG-3 |
| 15 | ED05-076.07-01-09.03 | FERRITO LLC | RG-3 |
| 16 | ED05-076.07-01-09.04 | RICHARDS,JILLIE | RG-3 |
| 17 | ED05-076.07-01-09.05 | SAMMANDER,OSMAN M & SAMMANDER,AYESHA | RG-3 |
| 18 | ED05-076.06-07-05.00 | HARRIS,LILLIE MAE & BRANCH,CHARLOTTE | RG-2 |
| 19 | ED05-076.07-02-25.00 | BOGAN,CURTIS S & RIVERS,WAYNE | R-8 |
| 20 | ED05-076.07-02-24.00 | WALTERS,BRADFORD S & DONA O | R-8 |
| 21 | ED05-076.07-02-23.00 | BROWN,RYAN B | R-8 |
| 22 | ED05-076.07-02-13.00 | BOGGS,NICHOLAS & BOGGS,MARY ELIZABETH | R-8 |
| 23 | ED05-076.07-02-12.00 | KELLENBERGER,MARGARET A | R-8 |
| 24 | ED05-076.07-01-27.00 | ACADEMY OF DOVER INC | IO + COZ-1 |
| 25 | ED05-076.07-01-30.00 | DOVEVIEW INVESTORS LLC | RG-5 + COZ-1 |
| 26 | ED05-076.07-01-30.02 | HEARTLAND DELAWARE INC | C-2A + COZ-1 |

ADMINISTRATIVE APPROVAL
This Site Plan is hereby approved by the City Planner under the authority of Article III, Section 2 of the City of Dover Zoning Ordinance.
Name: *Dawn Williams* Date: 10/10/24

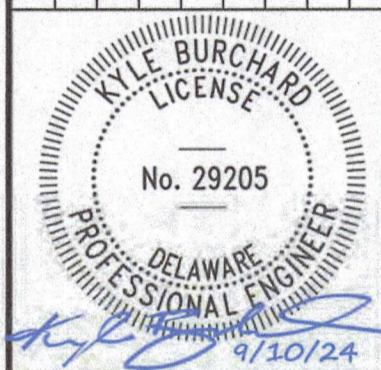


PROPERTY MAP 1"=60'



© 2023 MOUNTAIN CONSULTING, INC.

| REV. | DATE | BY | DESCRIPTION |
|------|---------|-----|-------------|
| 1 | 9/10/24 | KFB | FINAL PLANS |



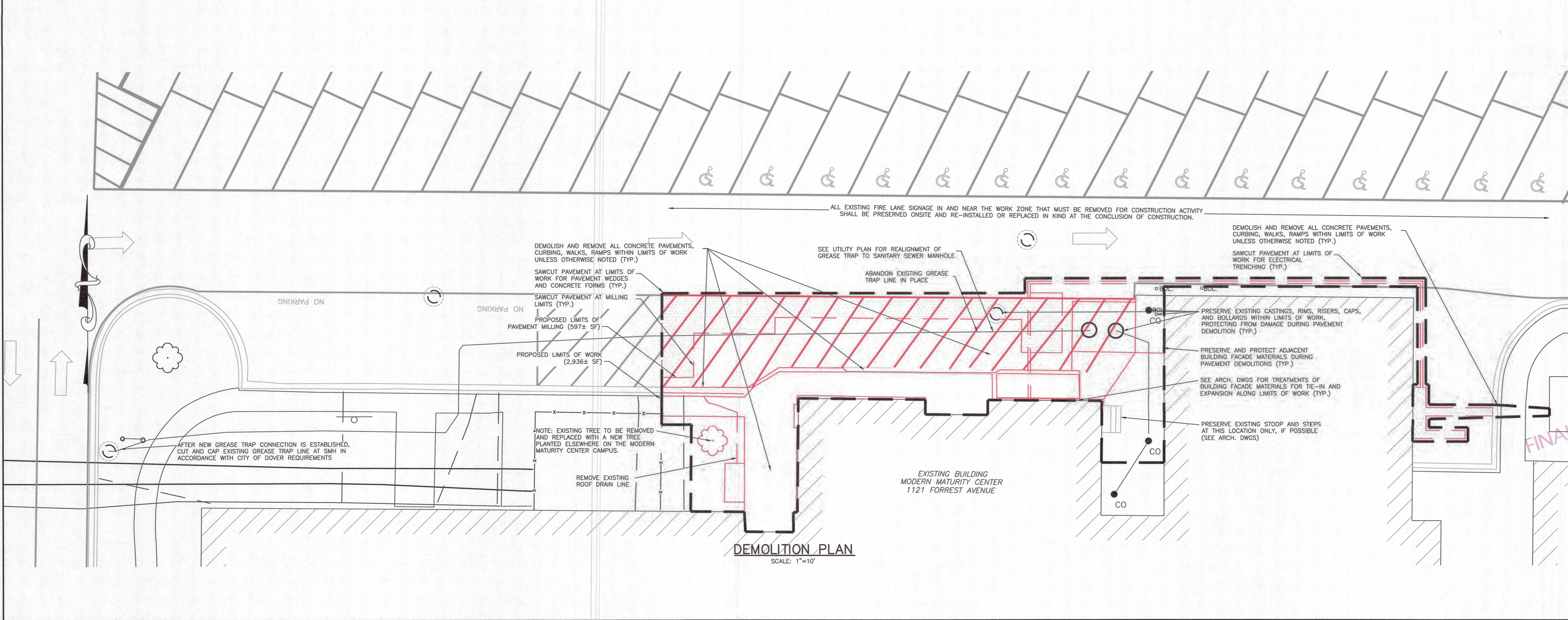
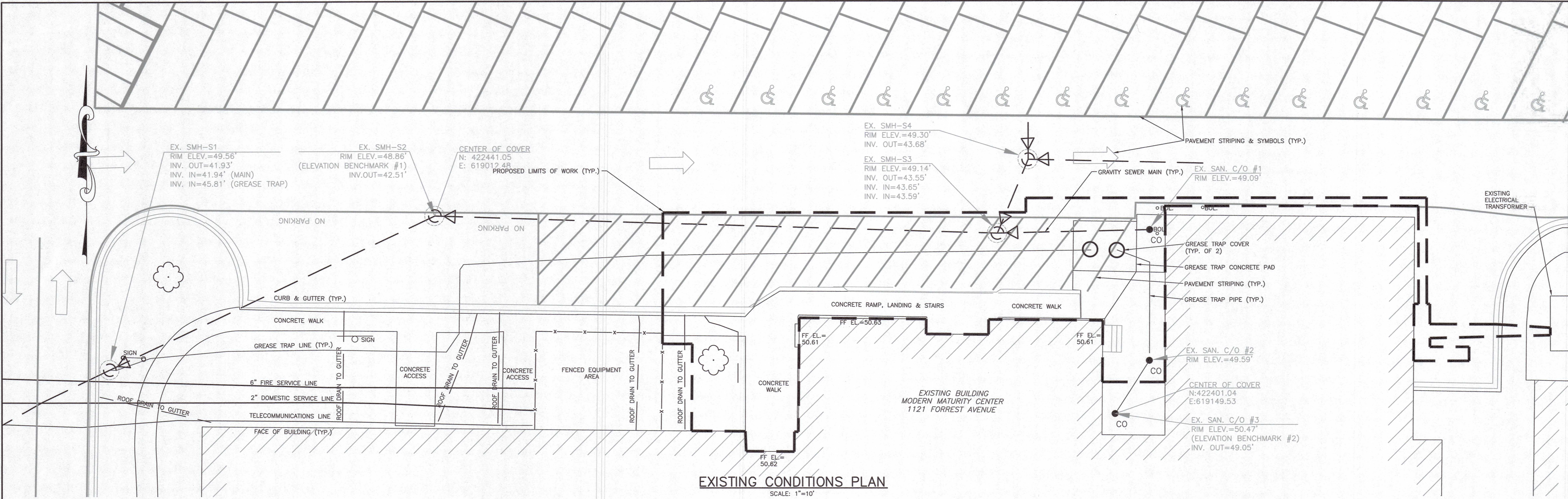
9/30/24

MODERN MATURITY CENTER - LONGWOOD ENTRANCE
COVER SHEET
EAST DOVER HUNDRED
KENT COUNTY
STATE OF DELAWARE

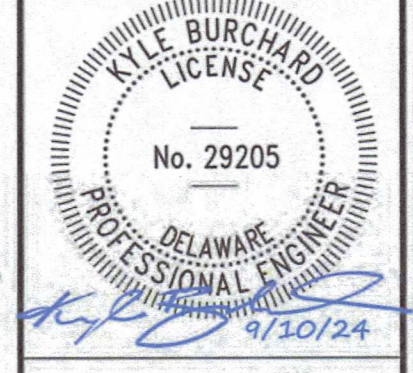
PROJECT ADDRESS:
1121 FORREST AVENUE
DOVER, DE 19904
PARCEL ID# ED05-076.07-01-25.00

| | |
|--------------|----------|
| DESIGNED BY: | KFB |
| DRAWN BY: | KFB |
| CHECKED BY: | TLA |
| ISSUE DATE: | 05-10-24 |
| PROJECT #: | 2024012 |
| SHEET NO.: | 40 |
| SCALE: | 20 |

SHEET NO.:
C-01



| REV. | DATE | BY: | CHK'D: | REVISION DESCRIPTION |
|------|---------|---------|--------|----------------------|
| 1 | 9/10/24 | KFB TLA | | FINAL PLANS |



MODERN MATURITY CENTER - LONGWOOD ENTRANCE
EXISTING CONDITIONS & DEMO PLANS

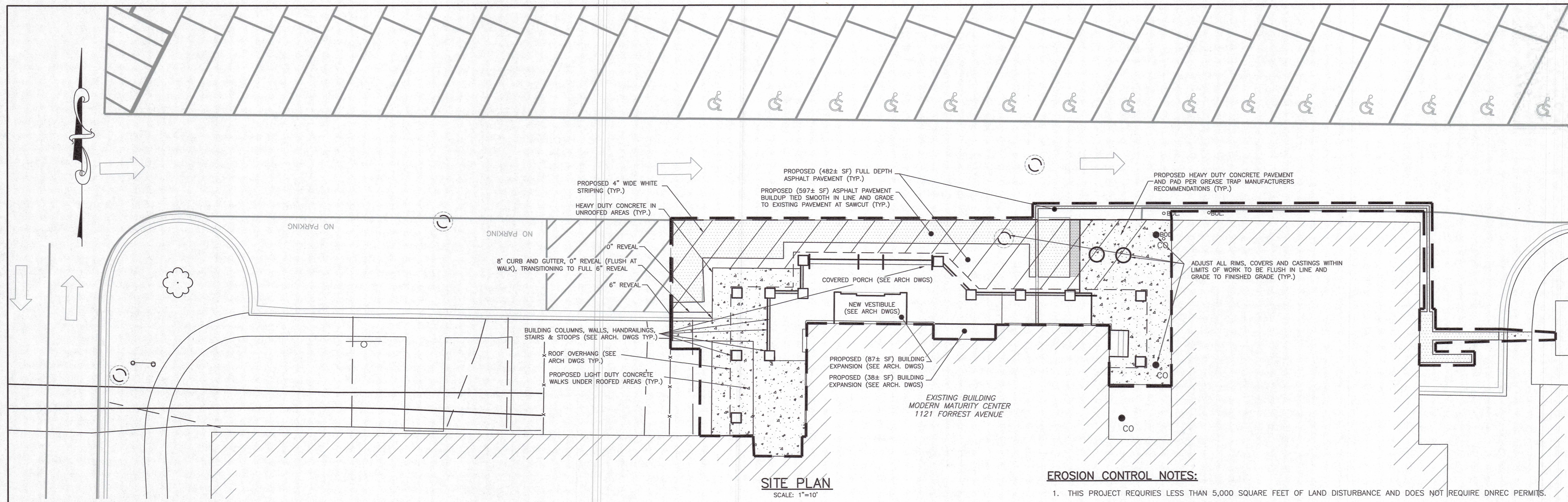
DESIGNED BY: KFB
DRAWN BY: KFB TLA
CHECKED BY: TLA
ISSUE DATE: 05-10-24
PROJECT #: 2024012

PREPARED FOR: EAST DOVER HUNDRED
MODERN MATURITY CENTER
1121 FORREST AVENUE
DOVER, DE 19904
PARCEL ID#ED03-076.07-01-25.00

STATE OF DELAWARE

SHEET NO.:
C-02

GRAPHIC SCALE: 0 10 20



SITE PLAN
SCALE: 1"=10'

SIDEWALK NOTES:

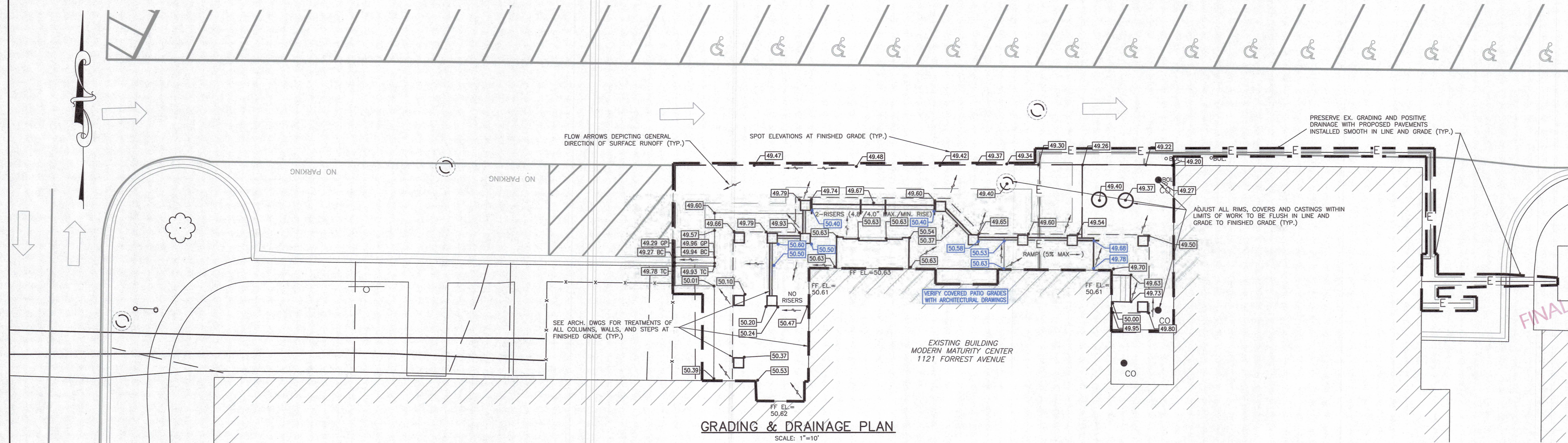
- STANDARD CITY OF DOVER SIDEWALK, AS PER CHAPTER 98, ARTICLE IV OF THE DOVER CODE OF ORDINANCES, SHALL BE REQUIRED TO BE INSTALLED ALONG THE ENTIRE PUBLIC STREET FRONTAGE OF A PROPERTY, WHERE FRONTAGE SIDEWALK EXISTS BUT DOES NOT MEET THE STANDARDS OF CHAPTER 98, ARTICLE IV, THE SIDEWALK SHALL BE RE-LAID TO MEET THE STANDARDS. SIDEWALK SHALL INCLUDE BARRIER-FREE ACCESS RAMPING AT POINTS OF INTERSECTION WITH STREET CROSSINGS AND AT OTHER LOCATIONS SO AS TO AFFORD REASONABLE BARRIER-FREE PEDESTRIAN MOVEMENT AND SITE ACCESS.
- IN ACCORDANCE TO APPENDIX A, ARTICLE VI, SECTION B.3, ALL SIDEWALKS SHALL ASCEND FROM THE CURBSTONE TO THE BUILDING LINE AT THE RATIO OF ONE-QUARTER OF AN INCH TO THE FOOT. NOTHING IN THIS SECTION SHALL BE CONSTRUED TO AFFECT ANY PAVEMENT PREVIOUSLY LAID BY ORDER OF THE CITY COUNCIL, UNTIL IT IS TAKEN UP AND RELAID.

UTILITY NOTES:

- ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT CITY OF DOVER REQUIREMENTS AND PRACTICES.

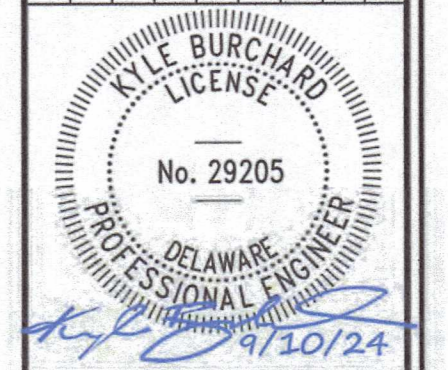
EROSION CONTROL NOTES:

- THIS PROJECT REQUIRES LESS THAN 5,000 SQUARE FEET OF LAND DISTURBANCE AND DOES NOT REQUIRE DNREC PERMITS.
- THIS PROJECT INVOLVES LAND DISTURBANCE ACTIVITIES THAT REQUIRE COMPLIANCE WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, AND THE CONTRACTOR IS RESPONSIBLE FOR THIS COMPLIANCE THROUGHOUT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND ADDING EROSION CONTROL MEASURES AS NEEDED THROUGHOUT CONSTRUCTION DUE TO THE WEATHER, SOIL, AND CONSTRUCTION CONDITIONS.
- [DE-ESC-3.1.7 COMPOST FILTER LOGS] ARE REQUIRED AS NEEDED TO FILTER DISTURBED AREA RUNOFF BEFORE REACHING CURB CUT INLETS INTO STORMWATER BASINS ALONG THE EAST AND WEST SIDES OF THE PARKING LOT. MINIMAL EROSION CONTROLS ARE ANTICIPATED, AND THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES AS REQUIRED TO PREVENT SEDIMENT TRANSPORT OR SOIL EROSION FROM THE WORK ZONE.
- [DE-ESC-3.4.3 VEGETATIVE STABILIZATION] IS REQUIRED UPON ESTABLISHMENT OF FINISHED GRADES NOT BEING PAVED. THE CONTRACTOR IS RESPONSIBLE FOR LEAVING THE SITE CLEAN AND CLEAR OF ALL CONSTRUCTION MATERIAL DEBRIS, WITH ALL PERVIOUS DISTURBED AREAS SUBSTANTIALLY STABILIZED WITH PERMANENT VEGETATION.



GRADING & DRAINAGE PLAN
SCALE: 1"=10'

| REV. | DATE | BY | CHK'D | REVISION DESCRIPTION |
|------|---------|-----|-------|----------------------|
| 1 | 9/10/24 | KFB | TJA | FINAL PLANS |



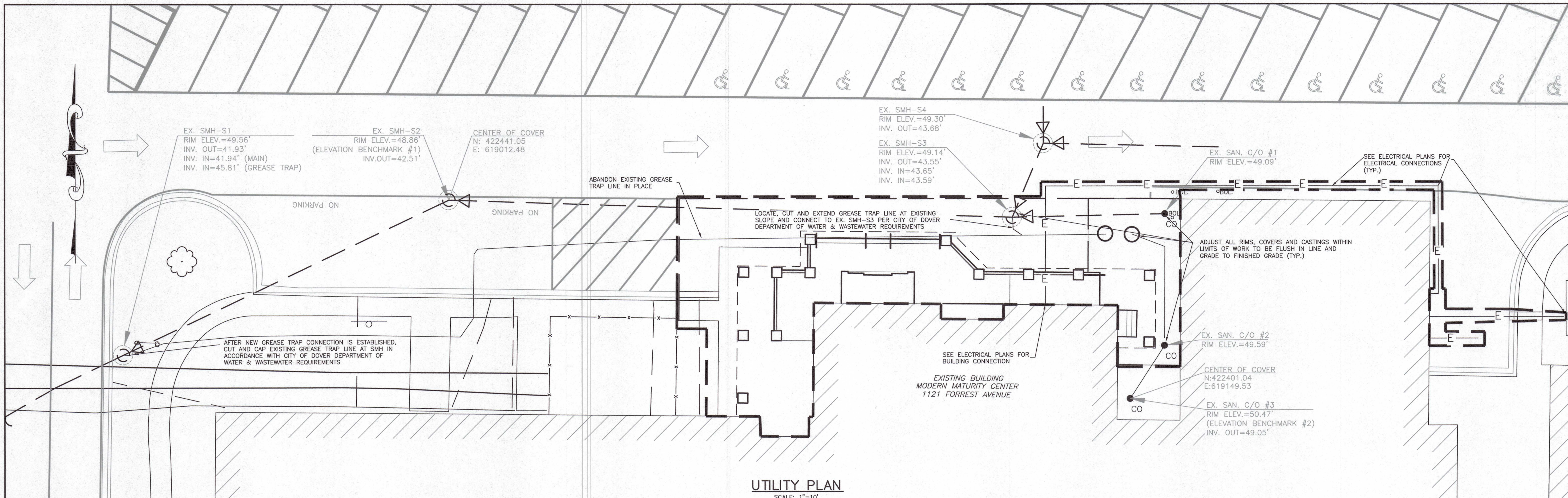
MODERN MATURITY CENTER - LONGWOOD ENTRANCE
 PREPARED FOR:
 MODERN MATURITY CENTER
 1121 FORREST AVENUE
 DOVER, DE 19904

EAST DOVER HUNDRED
 KENT COUNTY
 STATE OF DELAWARE

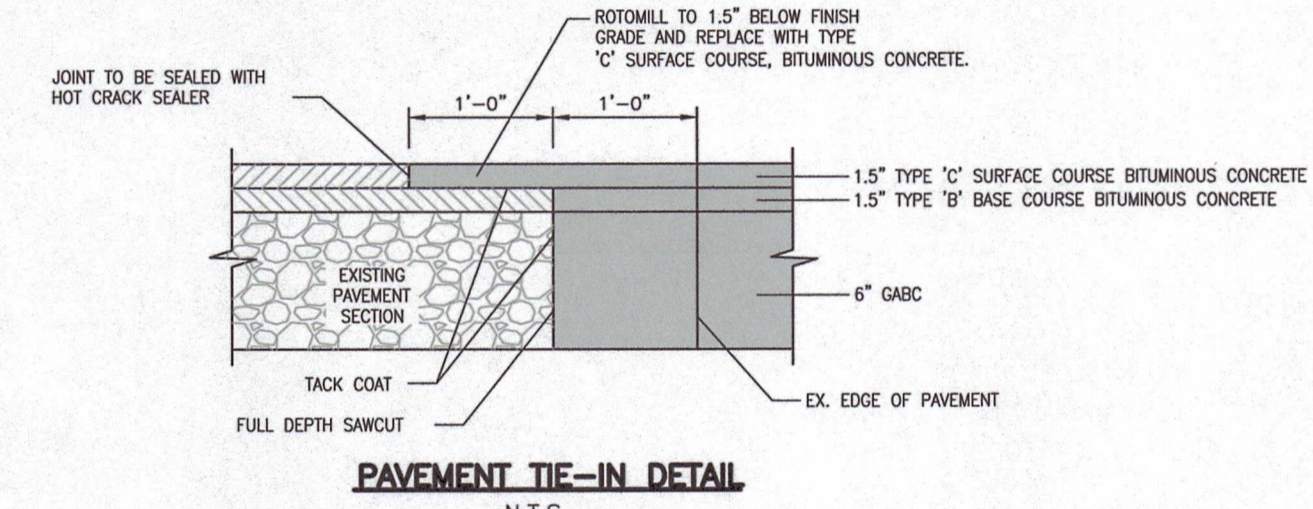
PROJECT ADDRESS:
 1121 FORREST AVENUE
 DOVER, DE 19904
 PARCEL ID#ED05-076.07-01-25.00

| DESIGNED BY: | DRAWN BY: | CHECKED BY: | ISSUE DATE: | PROJECT # | SHEET NO.: |
|--------------|-----------|-------------|-------------|-----------|------------|
| KFB | KFB | TJA | 05-10-24 | 2024012 | 20 |

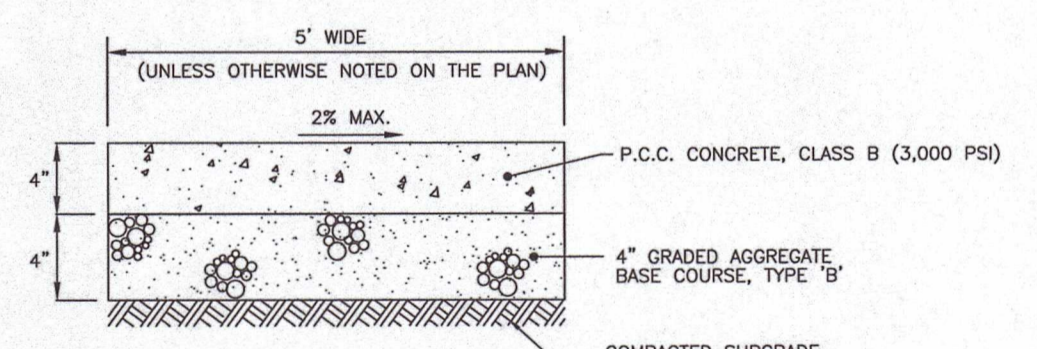
SHEET NO.:
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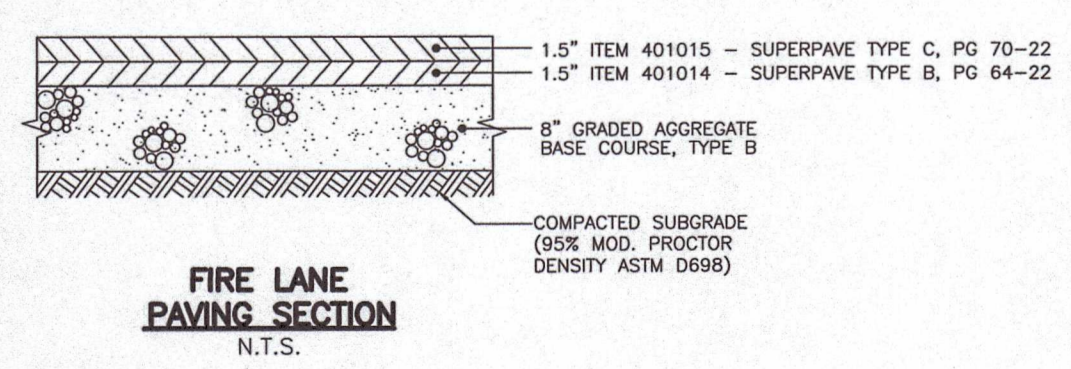
UTILITY PLAN
SCALE: 1"=10'



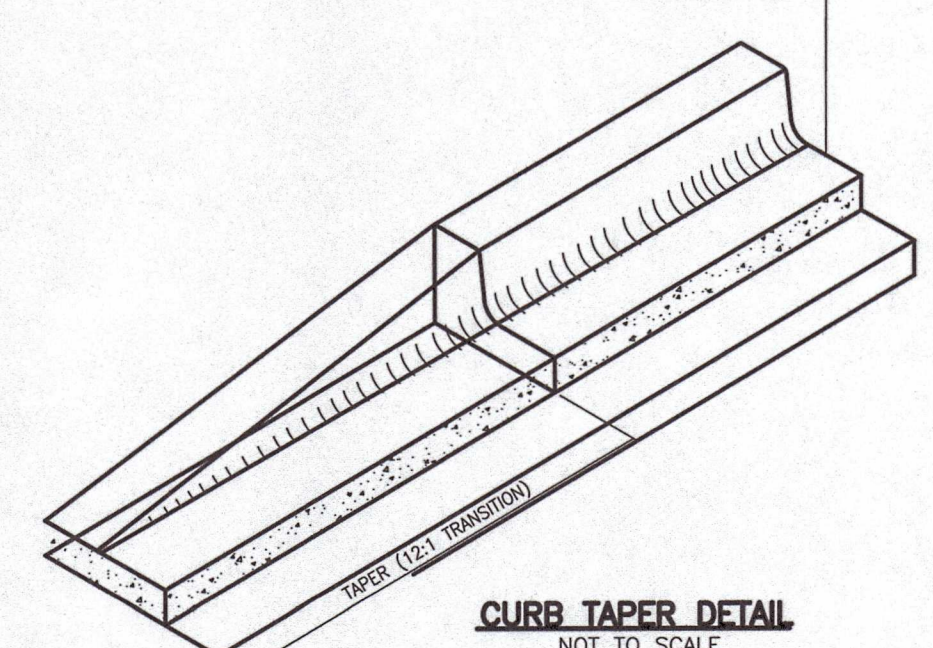
PAVEMENT TIE-IN DETAIL
N.T.S.



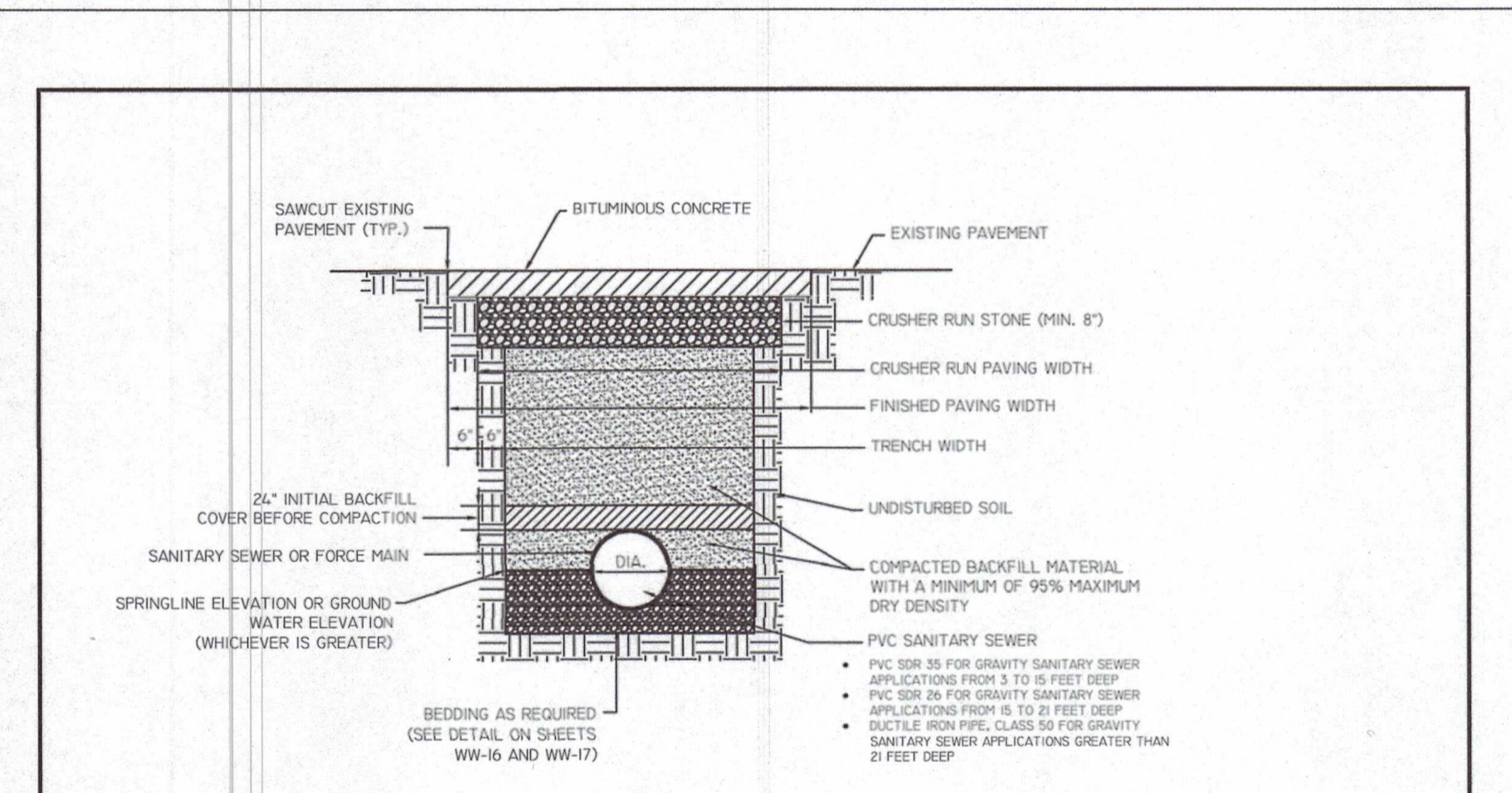
CONCRETE SIDEWALK
N.T.S.



FIRE LANE PAVING SECTION
N.T.S.



CURB TAPER DETAIL
NOT TO SCALE



| PIPE DIAMETER | MINIMUM TRENCH WIDTH | CRUSHER RUN PAVING WIDTH | FINISHED PAVING WIDTH |
|---------------|----------------------|--------------------------|-----------------------|
| 6" | 36" | 48" | 60" |
| 8" | 36" | 48" | 60" |
| 10" | 36" | 48" | 60" |
| 12" | 36" | 48" | 60" |
| 15" | 36" | 48" | 60" |
| 18" | 42" | 54" | 66" |
| 21" | 42" | 54" | 66" |
| 24" | 48" | 60" | 72" |
| 27" | 60" | 72" | 84" |
| 30" | 60" | 72" | 84" |
| 33" | 66" | 78" | 90" |
| 36" | 66" | 78" | 90" |
| 42" | 78" | 90" | 102" |
| 48" | 84" | 96" | 108" |
| 54" | 96" | 108" | 120" |
| 60" | 102" | 114" | 126" |
| 66" | 108" | 120" | 132" |
| 72" | 120" | 132" | 144" |
| 78" | 132" | 144" | 156" |
| 84" | 138" | 150" | 162" |
| 90" | 144" | 156" | 168" |
| 100" | 150" | 168" | 180" |
| 108" | 168" | 180" | 192" |

- NOTES:**
- WHEN BOTTOM OF TRENCH IS IN ROCK, UNDERCUT 6" BELOW BOTTOM OF BARREL AND REPLACE WITH TAPPED SUITABLE MATERIAL.
 - FOR TRENCHES REQUIRING SHORING AND BRACING, ALL WIDTHS SHALL BE INCREASED BY 2 FT.
 - WHEN THE GEOTECHNICAL REPORT INDICATES A HIGH WATER TABLE OR SEASONAL CONDITIONS WARRANT, WELL POINTS SHALL BE INSTALLED TO MAINTAIN REQUIRED TRENCH WIDTHS AND SUITABLE BEDDING.
 - THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
 - THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT PAVEMENT BE LESS THAN 2" THICK.
 - THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY TO ACHIEVE A SMOOTH LEVEL PATCH.
 - ALL MAXIMUM DRY DENSITY REQUIREMENTS ARE BASED ON STANDARD PROCTOR IN UNPAVED AREAS AND PROCTOR IN PAVED AREAS.
 - ONLY APPLY COMPACTED EFFORT OVER PIPE AFTER 24" INITIAL COVER REQUIREMENT IS MET.
 - LETS TO BE A MINIMUM OF 6" MAXIMUM OF 12", EXCEPT FOR FIRST 1 FT OF COVER OVER PIPE.

City of Dover
DEPARTMENT OF PUBLIC UTILITIES

DRAWN: JAL DATE: 03.03.09
CKD: REM/RJH SCALE: NTS
APRVD: SJD DWG. NO: WW-15

STANDARD WATER/WASTEWATER NOTES AND REQUIREMENTS

- HYDRANT CONNECTIONS BY THE CONTRACTOR ARE PROHIBITED. THIS METHOD MAY NOT BE UTILIZED DURING ANY PHASE OF THE PROJECT.
- THE SITE CONTRACTOR SHALL CONTACT THE CITY OF DOVER PUBLIC WORKS CONSTRUCTION & INSPECTIONS MANAGER AT (302) 736-7025 PRIOR TO THE START OF CONSTRUCTION. A REPRESENTATIVE FROM THE CITY OF DOVER DEPARTMENT OF WATER & WASTEWATER MUST OBSERVE AND APPROVE ALL WATER AND SANITARY SEWER INTERCONNECTIONS AND TESTING. ALL WATER TAPS AND SANITARY SEWER CONNECTIONS MUST BE PERFORMED BY A CITY OF DOVER APPROVED CONTRACTOR. THE PROPOSED LOCATION FOR THE CONNECTION MAY NEED TO BE ADJUSTED IN THE FIELD DUE TO CONDITIONS OF THE EXISTING MAIN. POSSIBLE CONDITIONS THAT WOULD REQUIRE TAPPING/CONNECTION RELOCATION INCLUDE PROXIMITY TO PIPE JOINTS, OTHER TAPS, CONCRETE ENCASEMENTS, CONFLICT WITH OTHER UTILITIES, AND THE LIKE. TEST HOLES MUST BE PERFORMED BY THE CONTRACTOR TO DETERMINE THE BEST TAPPING/CONNECTION LOCATION. THE CITY OF DOVER WILL NOT BE HELD RESPONSIBLE FOR FIELD CONDITIONS REQUIRING ADJUSTMENT OF THE TAPPING/CONNECTION LOCATION OR FOR ANY WORK REQUIRED BY THE CONTRACTOR TO MAKE AN APPROPRIATE AND LAWFUL CONNECTION.
- ALL WATER AND WASTEWATER UTILITY CONSTRUCTION AND MATERIALS SHALL MEET ALL CITY OF DOVER STANDARDS AND SPECIFICATIONS AS WELL AS CURRENT REQUIREMENTS AND PRACTICES.
- ALL WATER UTILITY COMPONENTS MUST MEET THE REQUIREMENTS OF THE WATER WASTEWATER HANDBOOK, EFFECTIVE DATE MARCH, 22, 2010. PLEASE CONTACT THE DEPARTMENT OF WATER & WASTEWATER AT 302-736-7025 FOR MORE INFORMATION.
- ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING UTILITIES SHALL BE ADJUSTED TO GRADE, AND REPAIRED OR REPLACED WHEN DEEMED NECESSARY BY THE DEPARTMENT OF WATER & WASTEWATER, IN ALL AREAS OF DISTURBANCE ASSOCIATED WITH CONSTRUCTION.
- ANY EXISTING WATER OR WASTEWATER UTILITY LINES NOT TO BE UTILIZED BY THE PROPOSED PROJECT SHALL BE PROPERLY ABANDONED AT THE MAINS IN ACCORDANCE WITH THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS SPECIFICATION AND REQUIREMENTS.
- ALL NON-METALLIC WATER LINES (MANS AND SERVICES) SHALL BE INSTALLED WITH A TRACER WIRE AND IDENTIFICATION TAPE. THE WIRE SHALL BE A MINIMUM OF TWELVE (12) GAUGE BLUE COATED COPPER WIRE, WRAPPED AROUND THE PIPE, AND EXTENDING UP INTO ALL VALVE AND CURB BOXES. THE IDENTIFICATION TAPE SHALL BE SIX-INCHES (6") WIDE, LAID ONE FOOT (1') ABOVE THE PIPE, WITH THE FOLLOWING TEXT: "CAUTION: BURIED WATER LINE BELOW."
- ALL NON-METALLIC WASTEWATER LINES (MANS AND LATERALS) SHALL BE INSTALLED WITH A TRACER WIRE AND IDENTIFICATION TAPE. (TRACER WIRE IS NOT REQUIRED ON GRAVITY MAINS). THE WIRE SHALL BE A MINIMUM OF TWELVE (12) GAUGE GREEN COATED SOLID COPPER WIRE, WRAPPED AROUND THE PIPE. THE IDENTIFICATION DETECTOR TAPE SHALL BE SIX-INCHES (6") WIDE, LAID ONE FOOT (1') ABOVE THE PIPE, WITH THE FOLLOWING TEXT: "CAUTION: BURIED SEWER LINE BELOW."
- NO TREES MAY BE PLANTED WITHIN TEN FEET (10') OF WATER AND WASTEWATER UTILITY INFRASTRUCTURE.
- NO STRUCTURES, INCLUDING PERMANENT SIGNAGE, MAY BE LOCATED WITHIN TEN FEET (10') OF WATER AND WASTEWATER UTILITY INFRASTRUCTURE.
- WATER AND WASTEWATER LINES MAY NOT BE LOCATED NEAR ANY POTENTIAL SOURCE OF CONTAMINATION.
- ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT CITY OF DOVER REQUIREMENTS AND PRACTICES.

EXISTING UNDERGROUND UTILITIES COORDINATION

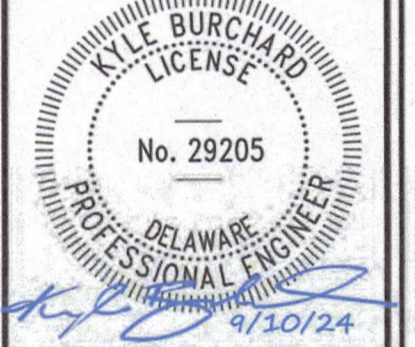
- BEFORE ANY EXCAVATION IS PERFORMED, CONTRACTOR SHALL CALL NOTIFY DELMAR811 (POWERED BY MISS UTILITY) (DIAL 811 OR 800.282.8555) AT LEAST 48 HOURS PRIOR TO EXCAVATION TO HAVE UNDERGROUND UTILITIES LOCATED AND MARKED.
- THE LOCATION OF UNDERGROUND UTILITIES AS INDICATED ON PLANS HAS BEEN OBTAINED FROM EXISTING RECORDS AND MISS UTILITY MARKOUTS. NEITHER THE OWNER NOR THE ARCHITECT/ENGINEER ASSUMES ANY RESPONSIBILITY WHATSOEVER IN RESPECT TO ACCURACY, COMPLETENESS, OR SUFFICIENCY OF THE INFORMATION SHOWN. THERE IS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED THAT THE LOCATIONS, SIZE AND TYPE OF MATERIALS OF EXISTING UNDERGROUND UTILITIES INDICATED ARE REPRESENTATIVE OF THOSE TO BE ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH UTILITIES, INCLUDING SERVICE CONNECTIONS TO UNDERGROUND UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER OF HIS OPERATIONAL PLANS. IN THE EVENT OF AN UNEXPECTED UTILITY INTERFERENCE DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER. ANY SUCH MAINS AND/OR SERVICES DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED IMMEDIATELY AT HIS EXPENSE.
- PRIOR TO PERFORMING ANY EXCAVATION GREATER THAN 6 INCHES, THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS AND ALL PRIVATE UTILITY COMPANIES TO DETERMINE THE LOCATION OF UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL ORGANIZATIONS THAT CONTROL EXISTING UNDERGROUND UTILITIES IN THE CONSTRUCTION AREA OR WOULD BE AFFECTED BY CONSTRUCTION WORK AROUND THE EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOT START EXCAVATION UNTIL ALL UTILITY LINE LOCATIONS HAVE BEEN STAKED OR OTHERWISE CLEARLY MARKED AND DOCUMENTATION FURNISHED TO THE OWNER. ALL MARKINGS SHALL BE CONSIDERED APPROXIMATE, AND UTILITIES OTHER THAN THOSE SHOWN SHALL BE CONSIDERED TO EXIST.
- WHERE EXISTING UNDERGROUND UTILITIES OR OTHER CONSTRUCTION ARE EXPECTED TO BE IN PROXIMITY TO PROPOSED CONSTRUCTION, OR WHEN APPROACHING EXISTING UTILITIES OR STRUCTURES FOR CONNECTIONS, THE CONTRACTOR SHALL DIG TEST PITS TO DETERMINE THE EXACT LOCATION AND INVERTS OF THE EXISTING UTILITY TO ALLOW FOR POSSIBLE CHANGES TO THE PROPOSED UTILITY IN LINE AND/OR GRADE. THE CONTRACTOR SHALL ALSO DIG TEST PITS IN THE LOCATION OF THE PROPOSED CONNECTIONS TO EXISTING UTILITIES AND SHALL MAKE ALL MEASUREMENTS NECESSARY TO ENSURE PROPER CONNECTION. ANY NECESSARY CHANGES IN LINE OR GRADE OF WORK CAUSED BY FAILURE TO TAKE SUCH PRECAUTIONS SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
- WHEN IT IS NECESSARY TO EXCAVATE NEAR OR INTERFERE WITH ANY SEWER LINE, WATER SERVICES, DRAIN PIPE, CATCH BASIN, CULVERT, OR OTHER STRUCTURES, THE CONTRACTOR SHALL MAINTAIN THE SAME IN WORKING ORDER AND SHALL REPAIR AND MAKE GOOD ANY DAMAGE DONE DURING THE PROGRESS OF THE WORK.
- WHERE EXISTING UTILITIES CROSS THE TRENCH EXCAVATION, THEY SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO CONSTRUCTION. ALL METHODS OF SUPPORTING AND MAINTAINING THESE UTILITIES SHALL BE SUBJECT TO REVIEW BY OWNER. CARE SHALL BE TAKEN TO ENSURE THAT THE EXISTING UTILITY GRADES AND ALIGNMENT ARE MAINTAINED AND THE PIPE JOINTS ARE NOT DISTURBED. ANY DAMAGE OR MISALIGNMENT OF THE UTILITIES DUE TO CONSTRUCTION OR SETTLEMENT SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ANY UNPROTECTED CABLE (DIRECT BURIED) ENCOUNTERED THAT IS VERIFIED AS NOT ABANDONED IN PLACE SHALL BE PROTECTED. THE UTILITY OWNER MAY DIRECT THE CABLE BE PLACED IN SPLIT DUCT OF APPROPRIATE SIZE AND CONCRETE ENCASED THROUGH THE AREA OF CONSTRUCTION. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO AVOID HAVING TO CUT AND SPLICE DIRECT BURIED CABLE. THE CONTRACTOR SHALL NOTE SPLIT DUCT PORTIONS ON AS-BUILTS.
- INTERRUPTION OF EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR AT THE DIRECTION OF THE UTILITY OWNER(S).
- ALL UTILITY EXCAVATION SHALL BE KEPT DRY AT ALL TIMES.

SANITARY UTILITY NOTES:

- ANY EXISTING SEWER LINES NOT TO BE UTILIZED BY THE PROPOSED FACILITY MUST BE PROPERLY ABANDONED AT THE MAINS IN ACCORDANCE WITH THE CITY OF DOVER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND REQUIREMENTS.
- PART II, CHAPTER 80, ARTICLE III, SECTION 180-10 OF THE CODE OF KENT COUNTY REQUIRES THAT "NO PERSON SHALL DISCHARGE OR CAUSE TO BE DISCHARGED ANY STORMWATER, SURFACE WATER, UNCONTAMINATED GROUNDWATER, ROOF RUNOFF, SUBSURFACE DRAINAGE, UNCONTAMINATED NONCONTACT COOLING WATER OR UNPOLLUTED INDUSTRIAL PROCESS WATERS TO ANY SANITARY SEWER", THIS SHALL INCLUDE CONDENSATE. SEC. 110-231 OF THE CITY OF DOVER CODE DEFINES STORM SEWER AS "...ANY SYSTEM USED FOR CONVEYING RAIN WATER, SURFACE WATER, CONDENSATE, COOLING WATER OR SIMILAR LIQUID WASTES, EXCLUSIVE OF SEWAGE." THE CONTRACTOR, DEVELOPER, OWNER AND DESIGNERS SHALL ENSURE DURING CONSTRUCTION THAT NO ILLEGAL DISCHARGE TO THE SANITARY SEWER SYSTEM ARE CREATED WITH THE SITE IMPROVEMENTS.



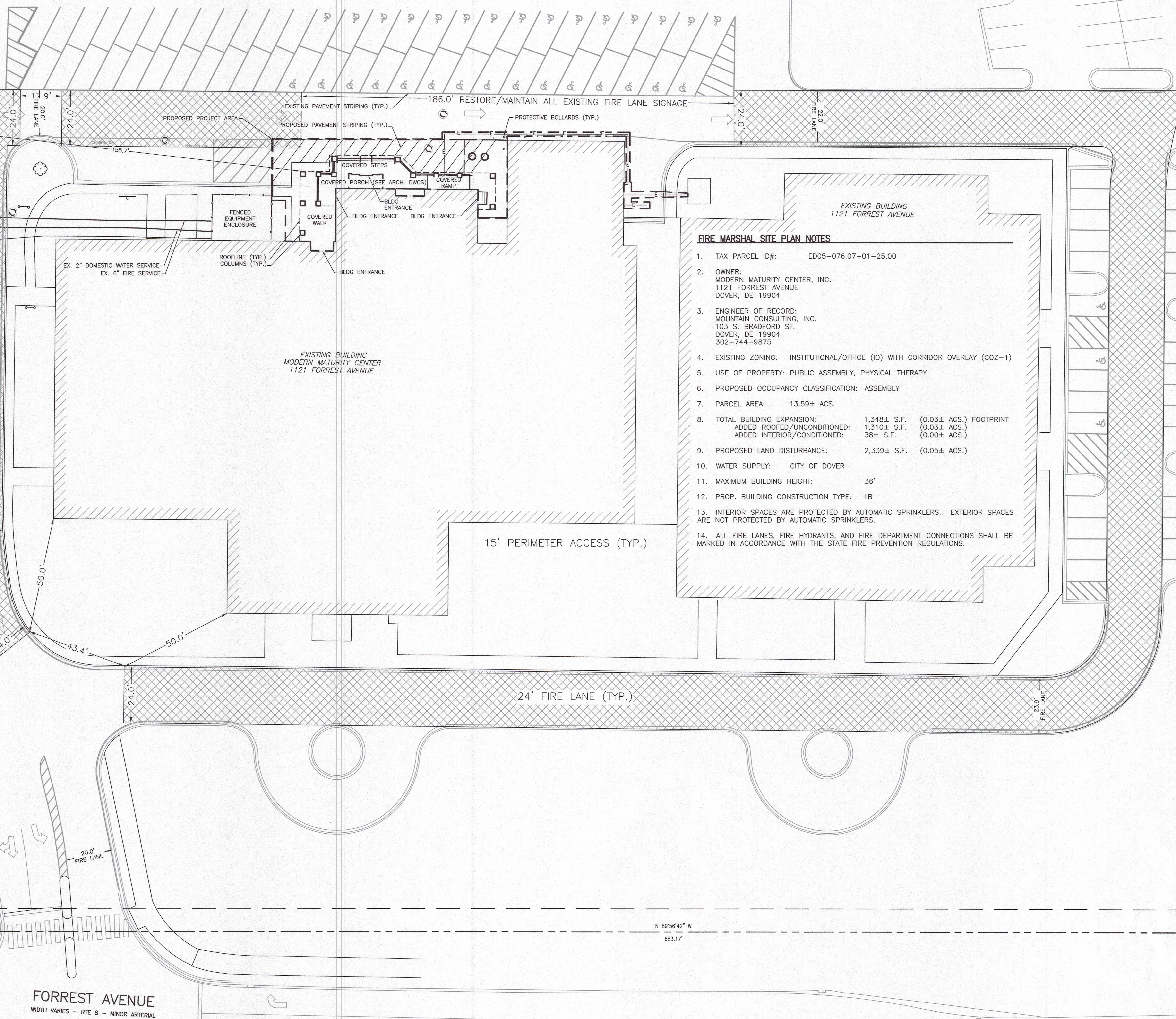
| REV. | DATE | BY: | CHKD: | REVISION DESCRIPTION |
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| 1 | 9/10/24 | KFB | TLA | FINAL PLANS |



MODERN MATURITY CENTER - LONGWOOD ENTRANCE
UTILITY PLAN
EAST DOVER HUNDRED
KENT COUNTY STATE OF DELAWARE
1121 FORREST AVENUE
DOVER, DE 19904
PROJECT ADDRESS: 1121 FORREST AVENUE
PARCEL ID#ED05-076-07-01-25-00

DESIGNED BY: KFB
DRAWN BY: KFB
CHECKED BY: TLA
ISSUE DATE: 09-10-24
PROJECT # 2024012
SCALE: 1"=10'
GRAPHIC SCALE

EXISTING FIRE HYDRANT

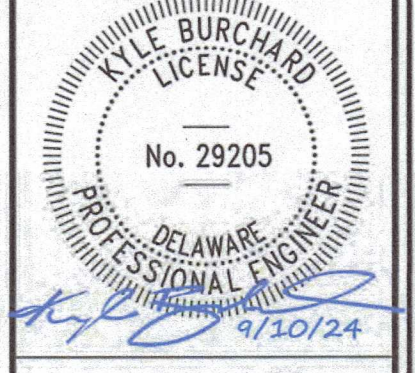


FIRE MARSHAL SITE PLAN NOTES

1. TAX PARCEL ID#: ED05-076.07-01-25.00
2. OWNER: MODERN MATURITY CENTER, INC. 1121 FORREST AVENUE DOVER, DE 19904
3. ENGINEER OF RECORD: MOUNTAIN CONSULTING, INC. 103 S. BRADFORD ST. DOVER, DE 19904 302-744-9875
4. EXISTING ZONING: INSTITUTIONAL/OFFICE (IO) WITH CORRIDOR OVERLAY (COZ-1)
5. USE OF PROPERTY: PUBLIC ASSEMBLY, PHYSICAL THERAPY
6. PROPOSED OCCUPANCY CLASSIFICATION: ASSEMBLY
7. PARCEL AREA: 13.59± ACS.
8. TOTAL BUILDING EXPANSION: 1,348± S.F. (0.03± ACS.) FOOTPRINT
ADDED ROOFED/UNCONDITIONED: 1,310± S.F. (0.03± ACS.)
ADDED INTERIOR/CONDITIONED: 38± S.F. (0.00± ACS.)
9. PROPOSED LAND DISTURBANCE: 2,339± S.F. (0.05± ACS.)
10. WATER SUPPLY: CITY OF DOVER
11. MAXIMUM BUILDING HEIGHT: 36'
12. PROP. BUILDING CONSTRUCTION TYPE: IIB
13. INTERIOR SPACES ARE PROTECTED BY AUTOMATIC SPRINKLERS. EXTERIOR SPACES ARE NOT PROTECTED BY AUTOMATIC SPRINKLERS.
14. ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.



| REV. | DATE | BY | CHK'D | DESCRIPTION |
|------|---------|-----|-------|-------------|
| 1 | 9/10/24 | KFB | TLA | FINAL PLANS |



MODERN MATURITY CENTER - LONGWOOD ENTRANCE
 FIRE MARSHAL SITE PLAN
 EAST DOVER HUNDRED
 KENT COUNTY
 STATE OF DELAWARE
 PROJECT ADDRESS:
 1121 FORREST AVENUE
 DOVER, DE 19904
 PARCEL ID#ED05-076.07-01-25.00

DESIGNED BY: KFB
 DRAWN BY: KFB
 CHECKED BY: TLA
 ISSUE DATE: 7-17-24
 PROJECT #: 2024012

PROJECT # 40
 0 20 40
 GRAPHIC SCALE

SHEET NO.:
C-FM

FINAL PLAN

FORREST AVENUE
WIDTH VARIES - RTE 8 - MINOR ARTERIAL

N 89°56'42" W
683.17'