

GENERAL PROJECT REQUIREMENTS:

- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE 2009 IBC, 2021 NFPA 70 LIFE SAFETY CODE, AND ALL CODES, RULES AND REGULATIONS OF THE STATE OF DELAWARE AND THE CITY OF DOVER AT THE TIME OF PERMIT APPLICATION.
- WRITTEN DIMENSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE, DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS ON DRAWINGS ARE TO EXTERIOR FACE OF SHEATHING TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK BEFORE PROCEEDING. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND / OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATION(S) SHALL BE RESOLVED BY THE ARCHITECT AND CONTRACTOR BEFORE START OF CONSTRUCTION. THE CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY THE SAME.
- EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE JOINING OF HIS WORK TO THE WORK OF OTHER TRADES. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CONTRACTOR UPON DISCOVERY, OR BEFORE PROCEEDING WITH THE WORK. THE SUB-CONTRACTOR SHALL BEAR AND ACCEPT FULL RESPONSIBILITY TO RECTIFY THE SAME.
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF THE CONSTRUCTION WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN. SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW & APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- THE GENERAL CONTRACTOR SHALL PROVIDE BLOCKING AS REQUIRED FOR TOILET ACCESSORIES, MECHANICAL, ELECTRICAL, & OTHER ITEMS AS NECESSARY.
- ALL DOOR SIZES SHALL BE FIELD MEASURED & VERIFIED PRIOR TO FABRICATION OR FINISHING OF ORDER.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS OF CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR JOB SAFETY AND SHORING AND BRACING OF ALL CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE DURING THE CONSTRUCTION FOR PROVIDING PROTECTION AS NECESSARY TO PRESERVE & MAINTAIN THE BUILDING, GROUNDS, LANDSCAPING, & ADJACENT BUILDINGS & MATERIALS, & TO ASSURE THE SAFETY OF THE PUBLIC.
- THE CONTRACTOR IS TO CONFINE OPERATIONS & STORAGE TO THE WORK AREA APPROVED BY THE OWNER. THE WORK AREAS & THE BUILDING AREA TO BE KEPT CLEAN & ORDERLY. PROVIDE NECESSARY SIGNAGE, BARRICADES, FENCINGS, & LIGHTING AS REQUIRED FOR SECURITY & TO RESTRICT SITE ACCESS. NORMAL PUBLIC ACCESS & USE OF THE BUILDING SHALL BE MAINTAINED IN A SAFE & ORDERLY MANNER DURING NORMAL BUSINESS HOURS.
- AT THE TIME OF PROJECT CLOSURE, THE CONTRACTOR SHALL CLEAN HIS WORK. LISTED BELOW ARE THE CLEANING OPERATIONS TO BE PERFORMED:
 - REMOVE NON-PERMANENT PROTECTION & LABELS.
 - POLISH GLASS
 - CLEAN EXPOSED FINISHES
 - TOUCH UP MINOR FINISH DAMAGE
 - CLEAN OR REPLACE ALL MECHANICAL SYSTEMS FILTERS
 - REMOVE & DISPOSE OF ALL DEBRIS FROM SITE
 - BROOM CLEAN UNOCCUPIED SPACES
 - CLEAN PLUMBING & LIGHT FIXTURES. REPLACE BURNED OUT LAMPS.
 - CLEAN & WAX RESILIENT FLOORING. VACUUM ALL CARPETS.
- ALL WOOD FRAMING LUMBER IN CONTACT WITH MASONRY OR CONCRETE SURFACES SHALL BE PRESURE TREATED.
- TEMPORARY HEATING, COOLING, & VENTILATION
 - GYPSSUM BOARD - 55° F MINIMUM DAY & NIGHT DURING ENTIRE JOINT TREATMENT OPERATION & UNTIL EXECUTION OF CERTIFICATE OF SUBSTANTIAL COMPLETION
 - CERAMIC TILE - 50° F MINIMUM DURING PREPARATION OF MORTAR BED, LAYING OF TILE, AND FOR 72 HOURS AFTER COMPLETION OF TILE WORK
 - ACOUSTICAL TILE - 70° F MINIMUM DURING SETTING OF TILE
 - WOOD FLOORING - 70° F MINIMUM WHERE MATERIAL IS STORED FOR ONE WEEK PRIOR TO INSTALLATION, CONTINUOUSLY DURING INSTALLATION, AND ONE WEEK AFTER APPLICATION OF FINAL COAT OF FLOOR FINISH
 - RESILIENT FLOORING - 70° F MINIMUM DURING APPLICATION
 - CARPETING - 70° F MINIMUM & 95° F MAXIMUM OF ONE WEEK PRIOR TO LAYING OF CARPET & CONTINUOUSLY DURING INSTALLATION
 - PAINTING - 55° F MINIMUM DURING PAINTING OPERATIONS & UNTIL DRY
- ALL EXTERIOR JOINTS CRACKS & HOLES IN THE ADDITION BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED. THIS INCLUDES (BUT IS NOT NECESSARILY LIMITED TO) AROUND WINDOWS & DOOR FRAMES, BETWEEN WALL & FOUNDATION BETWEEN WALL & ROOF, BETWEEN NEW AND EXISTING WALLS, AND UTILITY PENETRATIONS.
- ALL PAINTED & COVERED GYPSSUM BOARD SURFACES SHALL RECEIVE A 3 COAT PAPE & SFIACILE SYSTEM. ALL GYPSSUM BOARD SHALL BE SCREWED TO THE SUB-FRAMING.
- ALL GYPSSUM BOARD WALL & CEILING SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS OF PAINT.
- ALL WOOD & METAL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIME COAT & TWO FINISH COATS SEMI-GLOSS PAINT.
- FINISH ALL NON-LOAD BEARING INTERIOR PARTITIONS WITH 1 LAYER 5/8" GYPSSUM BOARD ON EACH FACE & 3/4" UN-FACED MINERAL FIBER BLANKET INSULATION IN STUD CAVITY.
- ALL SOIL IN CONTACT WITH NEW CONSTRUCTION SHALL BE TREATED TO PREVENT TERMITTE INFESTATION. THE CONTRACTOR SHALL SUBMIT A CERTIFICATION OF TERMITTE TREATMENT TO THE OWNER PRIOR TO POURING THE FOOTINGS.

WOOD FRAMING NOTES:

- COMPLY WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (LATEST EDITION).
- WOOD FRAMING: #2 S-P-F OR BETTER.
- PLYWOOD: GROUP 1 AFA RATED SHEATHING, MINIMUM SPAN RATING OF 3 2/8, MINIMUM 4 PLY, EXPOSURE 1 USE 3/4" NOMINAL THICKNESS FOR FLOOR, 5/8" FOR ROOFS, AND 1/2" FOR WALLS, UNLESS OTHERWISE NOTED. FOR FLOORS, USE TONGUE AND GROOVE PLYWOOD GLEED AND NAILED; FOR ROOFS, USE PLYWOOD CLIPS AT ALL NON-SUPPORTED BUTT JOINTS.
- WOOD EXPOSED TO THE ENVIRONMENT, WOOD BOLTED TO CONCRETE OR MASONRY AND WOOD DESIGNATED "S1" SHALL BE #2 SOUTHERN PINE OR BETTER, PRESURE IMPREGNATED WITH WATERBORNE, ALKALINE COPPER QUATERNARY (ACQ) PRESERVATIVE SYSTEM IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD U1 WITH A MINIMUM RETENTION RATE FOR ABOVE GROUND: 0.25 - 0.40 PCF.
- TREATED PLYWOOD: PRESURE IMPREGNATE EXTERIOR GRADE PLYWOOD WITH CHROMATE COPPER ARSENATE (CCA) IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD C22, WITH A MINIMUM RETENTION OF 0.60 LBS PER CUBIC FOOT OF WOOD. THE MINIMUM DEPTH OF PENETRATION SHALL BE 90% ON ALL VENEERS. USE WHERE INDICATED.
- NAIL IN ACCORDANCE WITH RECOMMENDED WOOD FASTENING SCHEDULE IN APPLICABLE BUILDING CODE (HIGH WIND REGION). PROVIDE BLOCKING, BRIDGING, AND BRACING PER SAME CODE. AT A MINIMUM, PROVIDE BRIDGING AT EACH END OF JOIST, AND ONE ROW OF SOLID BRIDGING AT MID-SPAN FOR JOISTS 12' OR GREATER IN SPAN. PROVIDE SOLID BRIDGING BELOW ALL INTERIOR BEARING PARTITIONS.
- CONNECTORS: JOIST HANGERS, HURRICANE CLIPS, POST BASES, AND OTHER FRAMING SPECIALTIES ARE TO BE AS MANUFACTURED BY SIMPSON, USP OR EQUAL, AND ARE TO BE USED ONLY IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS AND RECOMMENDATIONS. ALL CONNECTORS TO BE 1/8 GAUGE MINIMUM UNLESS NOTED OTHERWISE. PROVIDE GALVANIZED FINISH UNLESS NOTED OTHERWISE.
- JOIST HANGERS: MINIMUM 1/8 GAUGE, SIZE AND PROFILE TO SUIT APPLICATION (UNLESS OTHERWISE NOTED). PROVIDE HANGERS FOR ALL FLUSH FRAMED JOISTS.
- FASTENERS: ALL NAILS AND SCREWS USED TO FASTEN PRESURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED FASTENERS THAT MEET THE ASTM A653 STANDARD.
- PROVIDE SOLID BLOCKING BELOW ALL COLUMNS, TO TRANSFER LOAD DIRECTLY TO FRAMING.
- PROVIDE DOUBLE RAFTERS AROUND ALL ROOF OPENINGS (JUNO).
- ALL MULTI-PLY BEAMS SHALL BE NAILED WITH 3 ROWS OF 10D NAILS AT 8" O.C. STAGGERED BEAMS LOADED ON ONE FACE ONLY SHALL BE BOLTED WITH 1/2" DIA. P. A. RATED GROUP 1 SHEATHING BLOCK ALL UNSUPPORTED EDGES. NAIL ALL PANEL EDGES WITH 8D NAILS AT 4" O.C. AND INTERMEDIATE STUDS WITH 8D NAILS AT 8" O.C.

ROUGH OPENING	LINTEL
2 X 6 WALLS 4'-0" > 6'-0"	(3) 2 X 8 WITH 2 LAYERS OF 1/2" PLYWOOD (3) 2 X 10 WITH 2 LAYERS OF 1/2" PLYWOOD (3) 2 X 12 WITH 2 LAYERS OF 1/2" PLYWOOD
2 X 4 WALLS 4'-0" > 6'-0"	(2) 2 X 8 WITH 1 LAYER OF 1/2" PLYWOOD (2) 2 X 10 WITH 1 LAYER OF 1/2" PLYWOOD (2) 2 X 12 WITH 1 LAYER OF 1/2" PLYWOOD

- MASONRY VENEER LINTELS:
- | | |
|----------------------------------|---------------------------|
| MASONRY OPENINGS UP TO 4'-0" | 1 3/2" X 5/16" |
| MASONRY OPENINGS 4'-0" TO 6'-0" | 1 1/4" X 3/2" X 5/16" LVL |
| MASONRY OPENINGS 6'-0" TO 8'-0" | 1 1/2" X 3/2" X 5/16" LVL |
| MASONRY OPENINGS 8'-0" TO 10'-0" | 1 1/2" X 3/2" X 5/16" LVL |
- GALVANIZE ALL LINTELS.
- PROVIDE 8" BEARING EACH END.
- FOR LINTELS WITH MASONRY > 6'-0", PROVIDE 3/8" HOLE IN VERTICAL LEG AT MID-SPAN AND LAG TO BACK-UP LINTEL.

FOUNDATIONS AND EARTHWORK NOTES:

- EXCAVATE SOIL & OTHER MATERIALS AS MAY BE NECESSARY TO OBTAIN THE REQUIRED SUB-GRADE ELEVATION FOR THE CONSTRUCTION.
- PROOF-ROLL SITE SUB GRADES WITH A MINIMUM 10 TON LOADED DUMP TRUCK OR OTHER SUITABLE PIECE OF HEAVY EQUIPMENT. COMPLETE THIS OPERATION AFTER A SUITABLY DRY PERIOD OF WEATHER.
- RE-COMPACT ALL LOOSE OR SOFT SURFACE SOILS AND / OR RE-PLACE WITH CONTROLLED FILL.
- COMPACTION OF CONTROLLED FILL:
 - UNDER FOOTINGS: 100% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 1557.
 - UNDER SLABS: PLACE FILL IN 8" LIFTS. DAMPEN & MECHANICALLY TAMM TO 90% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 1557.
- ALL CONTROLLED FILL SHALL BE FREE OF ORGANIC MATERIALS, ROOTS & FROZEN MATERIAL, & SHALL CONTAIN NO PARTICLES GREATER THAN 3" IN DIAMETER. FILL SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM D 2487, AS GW, GF, GM, GC, SW, SF, SM, SC, ML, & CL OR COMBINATIONS THEREOF.
- PROOF-ROLLING, COMPACTION FILL & BACK FILL OPERATIONS MUST BE MONITORED BY A REGISTERED GEO-TECHNICAL ENGINEER OR HIS QUALIFIED REPRESENTATIVE.
- FOOTINGS HAVE BEEN DESIGNED BASED ON AN ASSUMED ALLOWABLE BEARING CAPACITY OF 2,000 PSF. GENERAL CONTRACTOR TO RETAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER TO FIELD VERIFY MINIMUM ALLOWABLE BEARING CAPACITY AND SUITABILITY OF THE SUB-GRADE FOR THE PROPOSED BUILDING.
- PLACE FOOTINGS ON FIRM, DRY, NON-FROZEN SUB-GRADE. REMOVE SOFT SOILS ENCOUNTERED DURING EXCAVATION FOR FOOTINGS. BACK FILL THESE EXCAVATIONS AND AREAS REQUIRING STRUCTURAL FILL WITH CLEAN, MOIST, GRANULAR SELECT BORROW TYPE "C", GRADE 0 OR BETTER IN ACCORDANCE WITH DELDOT STANDARD SPECIFICATIONS PLACED IN 8" MAXIMUM LIFTS. COMPACT TO 95% MAXIMUM DRY DENSITY IS AS DETERMINED BY MODIFIED PROCTOR TEST - ASTM D697. BACK FILL AND COMPACT EVENLY ON BOTH SIDES OF CRAWL SPACE AND BASEMENT WALLS PRIOR TO FRAMING FIRST FLOOR. DO NOT BACK FILL BASEMENT WALL UNTIL FIRST FLOOR FRAMING HAS BEEN COMPLETED. USE CRUSHED STONE UNDER FLOOR SLAB: AASHTO #57 AGGREGATE, WASHED, UNIFORMLY GRADED AND FREE DRAINING, MECHANICALLY COMPACT OR ROLL.
- FOOTING BOTTOMS SHALL BE AT THE ELEVATIONS SHOWN ON THE DRAWINGS, AT LEAST 24" BELOW EXISTING GRADE, & AT LEAST BELOW UTILITY LINES & SLEEVE WALL FOR THE UTILITY.
- UTILITY LINES SHALL NOT PASS UNDER FOOTINGS. STEP FOOTINGS BELOW UTILITY LINES & SLEEVE WALL FOR THE UTILITY.
- UTILITY PIPE TRENCHES WHICH RUN ADJACENT TO THE FOOTINGS & ARE LOWER THAN THE FOOTING BOTTOM & ARE WITHIN A HORIZONTAL DISTANCE OF 15 TIMES THE ELEVATION DIFFERENCE SHALL BE BACK FILLED WITH 1200 PSI CONCRETE TO THE FOOTING BOTTOM ELEVATION.
- THE MAXIMUM SLOPE FOR STEPPED FOOTINGS IS 2 HORIZONTAL FOR 1 VERTICAL (2:1)

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO ACI 308 (LATEST ADDITION).
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE:
 - FOUNDATIONS: 3,500 PSI SLABS: 3,500 PSI
 - ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED (6 ± 1) %.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- PROVIDE GALVANIZED PVC SLEEVES WHERE PIPES PASS THROUGH EXTERIOR CONCRETE WALLS, BEAMS, OR SLABS.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH AC308 (LATEST ADDITION), WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-95 AND BE PROVIDED IN FLAT SHEETS.
- REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS.
- CLEARANCES FOR REINFORCEMENT:
 - CONCRETE PLACED DIRECTLY ON EARTH AND FOOTINGS: 3" SLABS, FROM TOP UNLESS NOTED OTHERWISE; 1" FORMED SURFACES EXPOSED TO WEATHER OR EARTH
 - 1/2" - #5 BAR OR SMALLER
 - 2" - #6 BAR OR LARGER
- WELDING OF REINFORCEMENT IS NOT PERMITTED.
- CONTROL JOINTS IN SLAB ON GRADE:
 - CONTROL JOINTS SHALL BE LOCATED AS SHOWN ON FOUNDATION PLAN
 - CONTROL JOINTS SHALL BE SAW CUT (1/8" WIDE X 1/4" DEEP) AND FILLED WITH JOINT SEALER, CUT JOINTS AS SOON AS POSSIBLE WITHOUT FRAYING THE CONCRETE SURFACE.
 - CONSTRUCTION JOINTS SHALL INCLUDE A 1 X 12" SHEAR KEY AT MID-HEIGHT OF SLAB.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE. LAP ALL BARS MINIMUM 40 DIAMETERS. LAP ALL W.W.F. A MINIMUM OF 6'.

MASONRY NOTES:

- ALL MASONRY CONSTRUCTION SHALL CONFORM TO ACI 530.1 (LATEST ADDITION).
- ALL CONCRETE MASONRY UNITS SHALL BE ASTM C90, GRADE N TYPE I STANDARD WEIGHT BLOCKS INCLUDING STRETCHERS AND CORNER BLOCKS. MINIMUM PRISM STRENGTH OF BLOCK SHALL BE 14,150 PSI IN 28 DAYS. MORTAR SHALL CONFORM TO ASTM SPECIFICATIONS C270, TYPE M OR S.
- CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
- LOCATION OF LINTELS AT MASONRY OPENINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
- MASONRY WALLS WHICH SUPPORT STRUCTURAL MEMBERS SHALL HAVE CELLS GROUPED SOLID 3 COURSES MINIMUM UNDER BEARING.
- HORIZONTAL WALL REINFORCING SHALL BE DURO-D WALL TRUSS DESIGN WITH 3/8" SIDE RODS AND 0 GAUGE CROSS TIES. REINFORCING SHALL BE PLACED IN MASONRY AT 16" MAXIMUM SPACE HORIZONTAL JOINT REINFORCEMENT AT 8" ON CENTER IN ALL PARAPETS. USE SHOP FABRICATED SPECIAL PIECES AT ALL CORNERS AND TEES.
- STANDARD LAP LENGTH OF GRADE 60 MASONRY REINFORCING BARS SHALL BE 48 BAR DIAMETER.
- ALL CMU WALLS SHALL CONTAIN JOINTS WHICH ARE FULLY BEDDED.
- FILL ALL BOND BEAMS WITH 2,500 PSI CONCRETE USING 3/8" MAXIMUM AGGREGATE SIZE.
- WHERE INDICATED, GROUT CORES SOLID WITH A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATIONS C476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
- MORTAR ADMIXTURES CONTAINING CALCIUM CHLORIDE OR OTHER CHLORIDES ARE PROHIBITED. USE OF OTHER ADMIXTURES IS SUBJECT TO THE WRITTEN APPROVAL OF THE ARCHITECT.
- PROVIDE A MINIMUM OF 6" SOLID MASONRY UNDER ALL POINTS OF BEARING.
- FILL CORES OF ALL UNITS CONTAINING ANCHOR BOLTS OR OTHER ANCHORAGES SOLIDLY WITH GROUT.
- REINFORCING STEEL FOR BOND BEAMS & REINFORCING CONCRETE MASONRY WALLS SHALL CONFORM TO ASTM A615, GRADE 60, FY = 60 K.S.I

ADDITION AND RENOVATIONS TO MODERN MATURITY CENTER: LONGWOOD ENTRANCE

1121 FORREST AVENUE

DOVER, DELAWARE 19904

2009 IBC PROJECT DATA SUMMARY:

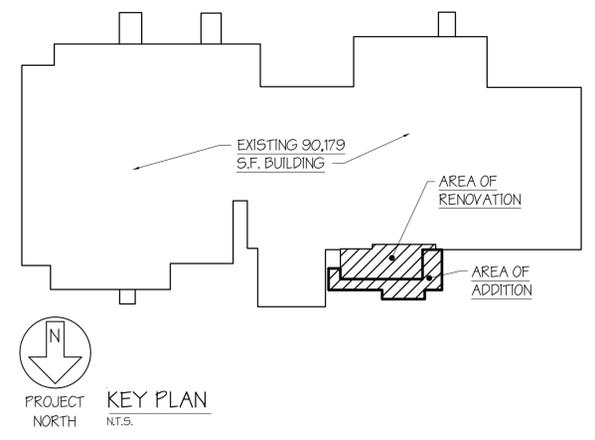
OWNER'S NAME AND ADDRESS:	MODERN MATURITY CENTER, INC 1121 FORREST AVENUE DOVER, DELAWARE 19904
TAX MAP NUMBER:	2-05-07607-01-2500-00001
ZONING:	IO - INSTITUTIONAL OFFICE
CODES:	CITY OF DOVER MUNICIPAL CODE, CHAPTER 22 BUILDING REGULATIONS, AND CHAPTER 46 FIRE PROTECTION AND PREVENTION IBC YEAR 2009 IBC YEAR 2009 IFC YEAR 2009 IBC YEAR 2009 IFC YEAR 2009 NFPA 101 LIFE SAFETY CODE 2021 ICC / ANSI 117-1 2009
BUILDING AREA:	90,179 S.F.
AREA OF RENOVATION:	1,386 S.F., ± 15% OF TOTAL BUILDING AREA
CONSTRUCTION TYPE:	III B
ALTERATION LEVEL:	LEVEL 2 PER IBC 404
RAMP'S:	PER 1010.2 AND 1010.2, RAMP SLOPE SHALL NOT EXCEED 1:12 SLOPE AND WHEN RISE IS > 6" SHALL HAVE HANDRAILS ON BOTH SIDES. PROPOSED: NEW RAMP SLOPE IS 1:12 SLOPE AND HAS HANDRAILS ON BOTH SIDES SINCE RISE IS 18".
INTERMEDIATE HANDRAILS:	PER 1009.12 AND 1012.9, STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE, AND ON MONUMENTAL STAIRS, HANDRAILS SHALL ALSO BE LOCATED ON THE MOST DIRECT PATH OF EGRESS TRAVEL AND HANDRAILS SHALL BE WITHIN 30" WITHIN THE REQUIRED WIDTH FOR EGRESS CAPACITY. PROPOSED: HANDRAILS ARE ON EACH SIDE OF THE NEW STAIRS, AND ON THE MONUMENTAL STAIRS ARE ALSO IN THE CENTER, ALONG THE MOST DIRECT PATH OF EGRESS TRAVEL, 60" APART.

DRAWING LIST:

ARCHITECTURAL:

- G1 - COVER SHEET, GENERAL NOTES, & PROJECT DATA SUMMARY
- D1 - DEMOLITION FLOOR PLAN & DEMOLITION NOTES
- A1 - FOUNDATION PLAN & FOUNDATION DETAILS
- A2 - RENOVATION FLOOR PLAN & RENOVATION NOTES
- A3 - ROOF PLAN & DETAILS
- A4 - EXTERIOR ELEVATIONS AND ELEVATION NOTES
- A5 - SECTIONS AND DETAILS
- A6 - SECTIONS

MEP:

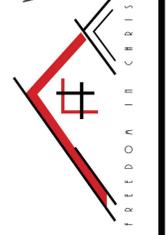


REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/4/2024	



10/4/2024

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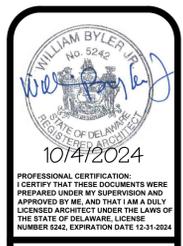
ADDITIONS AND RENOVATIONS TO
MODERN MATURITY CENTER:
LONGWOOD ENTRANCE
1121 FORREST AVENUE
DOVER, DELAWARE 19904

COVER SHEET,
GENERAL
NOTES, &
PROJECT DATA
SUMMARY

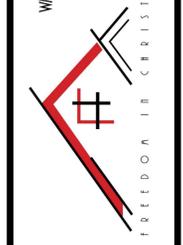
TEAM	WHL & MAS
CHECKED	W.B.
DATE	4 OCTOBER 2024
SCALE	NOTED
JOB NO.	C1366-0919
SHEET	

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OF SHEETS

REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/4/2024	



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NUMBER 5242, EXPIRATION DATE 12-31-2024.



ADDITIONS AND RENOVATIONS TO
MODERN MATURITY CENTER:
LONGWOOD ENTRANCE
1121 FORREST AVENUE
DOVER, DELAWARE 19904

DEMOLITION FLOOR PLAN #
DEMOLITION NOTES

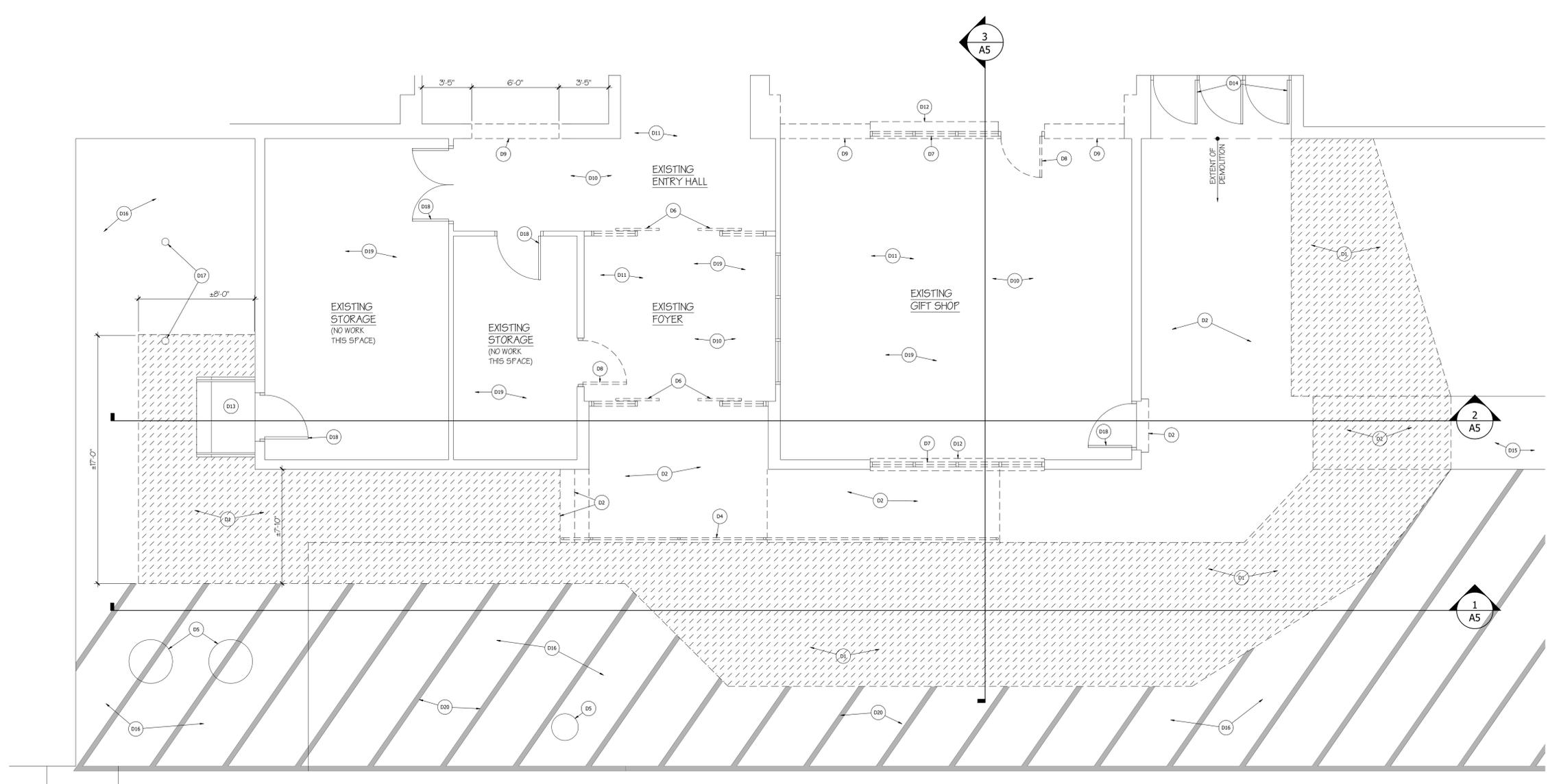
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SHEET	

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OF SHEETS

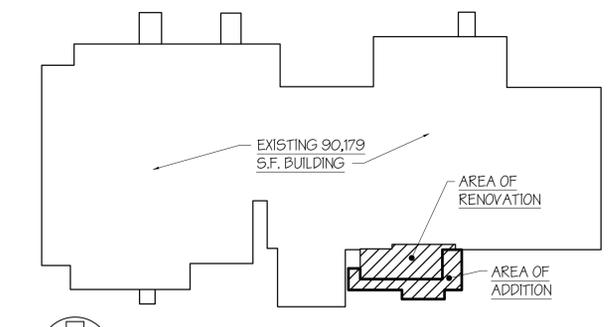
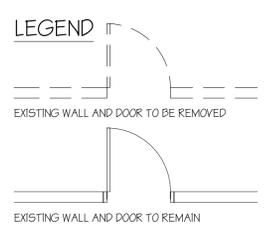
- GENERAL DEMOLITION NOTES:**
- CONTRACTOR SHALL SAFELY & LEGALLY REMOVE & DISPOSE OF ALL CONSTRUCTION DEBRIS OFF SITE.
 - CONTRACTOR SHALL REPAIR ANY EXISTING CONSTRUCTION TO REMAIN THAT IS DAMAGED DURING THE DEMOLITION PHASE.
 - CONTRACTOR SHALL PROVIDE STRUCTURAL SUPPORT OF ALL EXISTING CONSTRUCTION TO REMAIN DURING THE DEMOLITION PHASE UNTIL THE NEW STRUCTURAL SUPPORT IS IN PLACE.
 - BUILDING RENOVATIONS MAY REVEAL HERETOFORE UNKNOWN CONSTRUCTION CONDITIONS. THESE REVEALED CONDITIONS WILL REQUIRE THEY BE APPROPRIATELY ADDRESSED FOR BUILDING CODE COMPLIANCE DURING CONSTRUCTION.
 - PRIOR TO DEMOLITION, REFER D5 AND D17, BELOW.

DEMOLITION FLOOR PLAN KEYNOTES:

- D1 REMOVE EXISTING CONCRETE AND ASPHALT PAVING FOR NEW FOUNDATION. (SHADED AREA SHOWS POSSIBLE EXTENT OF PROJECT EXCAVATION FOR FOUNDATION)
- D2 REMOVE EXISTING EXTERIOR CONCRETE WALK, RAMP, AND STEP AT BUILDING
- D3 NOT USED
- D4 REMOVE EXISTING METAL PIPE RAILING
- D5 EXISTING, AT-GRADE MANHOLE COVER TO REMAIN. CONTRACTOR SHALL DETERMINE EXTENT OF UNDERGROUND PIPE, TANKS, AND ANY OTHER BURIED CONSTRUCTION PRIOR TO COMMENCING THE EXCAVATION WORK OF THIS PROJECT
- D6 REMOVE EXISTING ALUMINUM FRAME FIXED PANEL AND AUTOMATIC BI-PARTING DOOR SYSTEM INCLUDING ALL HARDWARE AND SALVAGE FOR REINSTALLATION. LEAVE EXISTING LINTEL IN PLACE.
- D7 REMOVE EXISTING ALUMINUM FRAME WINDOW SYSTEM AND PORTION OF EXISTING MASONRY WALL BELOW. LEAVE EXISTING LINTEL IN PLACE. SALVAGE WINDOW FOR RELOCATION
- D8 REMOVE EXISTING HOLLOW METAL DOOR, FRAME, AND HARDWARE
- D9 REMOVE PORTION OF EXISTING MASONRY WALL SYSTEM TO 8" BELOW THE FLOOR SLAB. PROVIDE TEMPORARY SUPPORT AS NEEDED. SEE DRAWING A2 FOR NEW LINTELS.
- D10 REMOVE EXISTING VCT FLOORING AND VINYL FLOOR BASE INCLUDING ALL GLUE RESIDUE
- D11 REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING SYSTEM
- D12 REMOVE THE LOWER PORTION OF WALL BELOW THE WINDOW SILL FOR NEW ENTRY DOOR SYSTEM
- D13 EXISTING CONCRETE STEP, LANDING, AND RAILING TO REMAIN
- D14 EXISTING DOOR SYSTEM TO REMAIN
- D15 EXISTING CONCRETE SIDEWALK TO REMAIN
- D16 EXISTING ASPHALT/ CONCRETE PAVING TO REMAIN
- D17 EXISTING SANITARY CLEANOUTS TO REMAIN. CONTRACTOR SHALL DETERMINE EXTENT OF UNDERGROUND PIPE, TANKS, AND ANY OTHER BURIED CONSTRUCTION PRIOR TO COMMENCING THE EXCAVATION WORK OF THIS PROJECT
- D18 EXISTING HM DOOR, FRAME, AND HARDWARE TO REMAIN
- D19 EXISTING CONCRETE FLOOR SLAB AND ROOF TRUSSES ABOVE TO REMAIN
- D20 EXISTING PAVEMENT STRIPING TO REMAIN

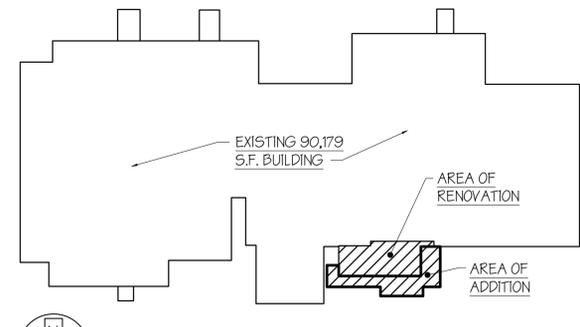
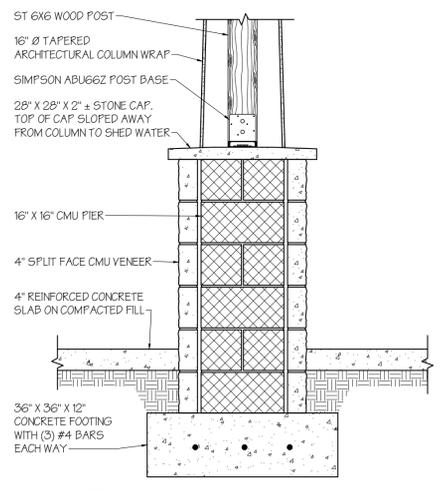
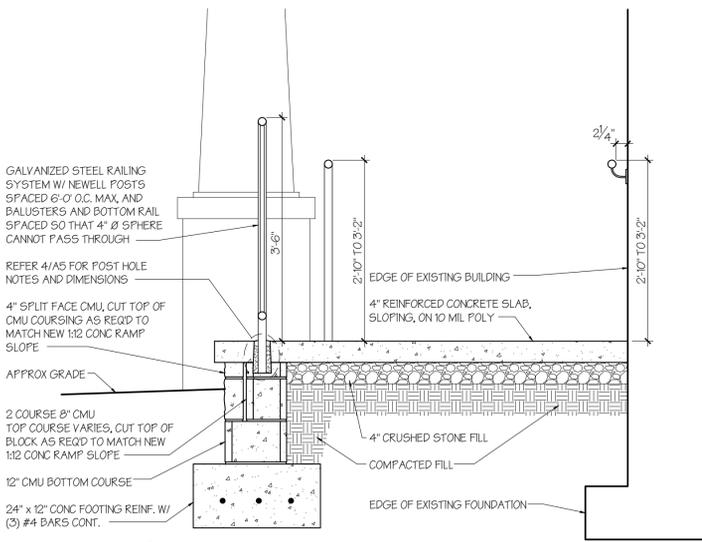
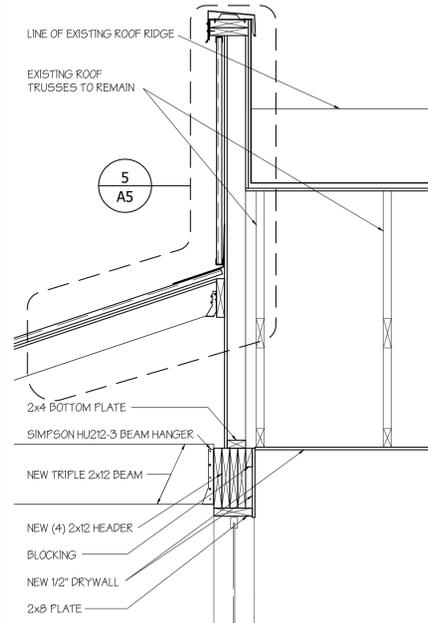
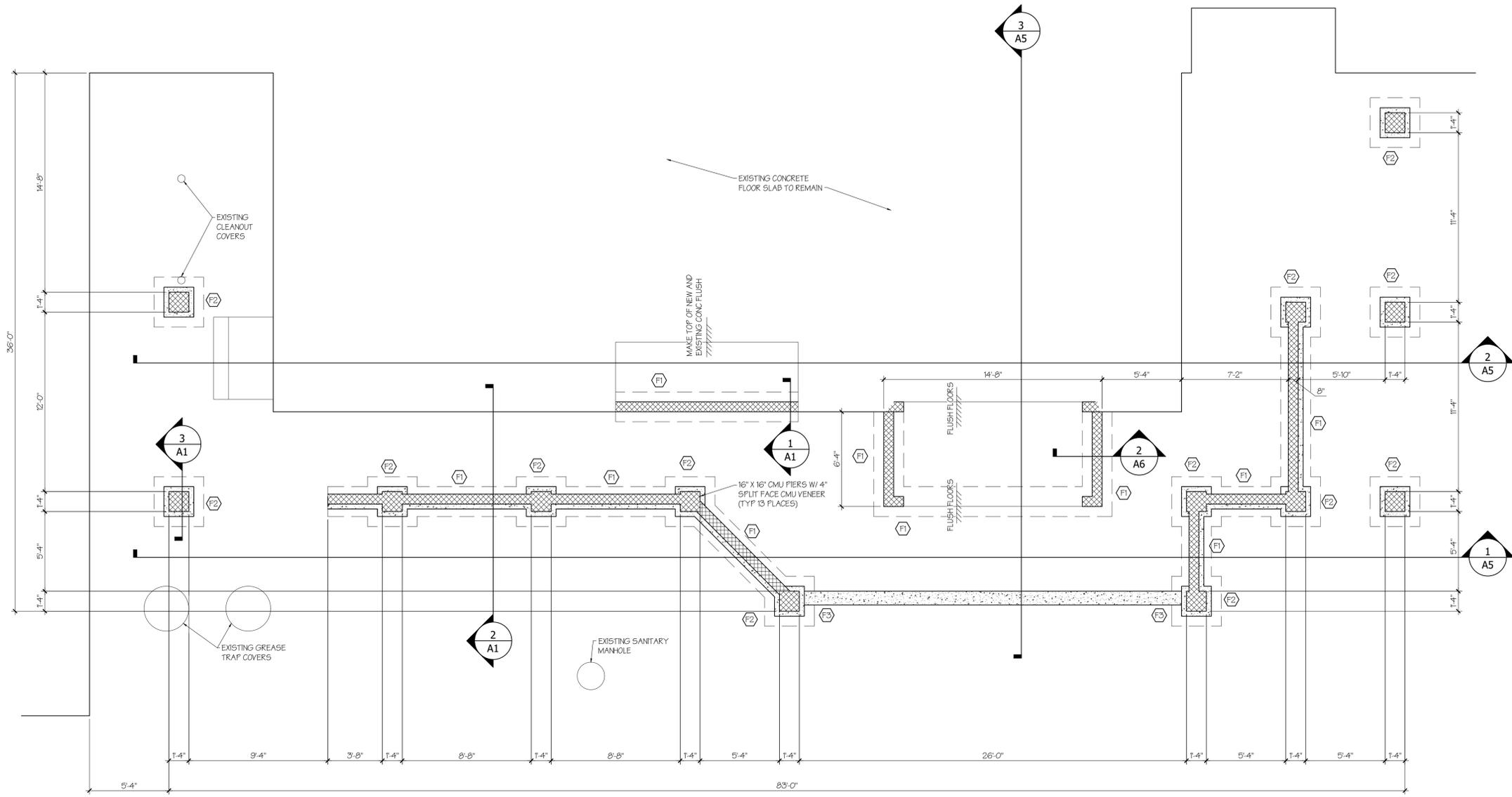


PROJECT NORTH
DEMOLITION FLOOR PLAN
1/4" = 1'-0"



PROJECT NORTH
KEY PLAN
NT.S.

FOOTING SCHEDULE	
F1	24" x 12" CONTINUOUS CONCRETE FOOTING WITH (3) #4 BARS CONTINUOUS
F2	36" x 36" x 12" CONCRETE FOOTING WITH (3) #4 BARS EACH WAY
F3	12" WIDE TURNED DOWN SLAB WITH #4 BARS HORIZONTAL AND #4 BARS VERTICAL @ 12" O.C.



1 SECTION @ WINDOW
3/4" = 1'-0"

2 SECTION @ NEW CONC RAMP
3/4" = 1'-0"

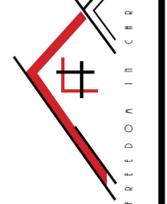
3 MASONRY PIER DETAIL
3/4" = 1'-0"

PROJECT NORTH
KEY PLAN
NT.S.

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ADDITIONS AND RENOVATIONS TO
MODERN MATURITY CENTER:
LONGWOOD ENTRANCE
 1121 FORREST AVENUE
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FOUNDATION
 PLAN &
 FOUNDATION
 DETAILS

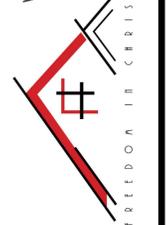
SCALE
 WHL & MAS
 CHECKED
 W.B.
 DATE
 4 OCTOBER 2024
 SCALE
 NOTED
 SHEET NO.
 C1366-0919
 SHEET

A1
 OF SHEETS

REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/4/2024	



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF DELAWARE, LICENSE NUMBER 5242, EXPIRATION DATE 12-31-2024.

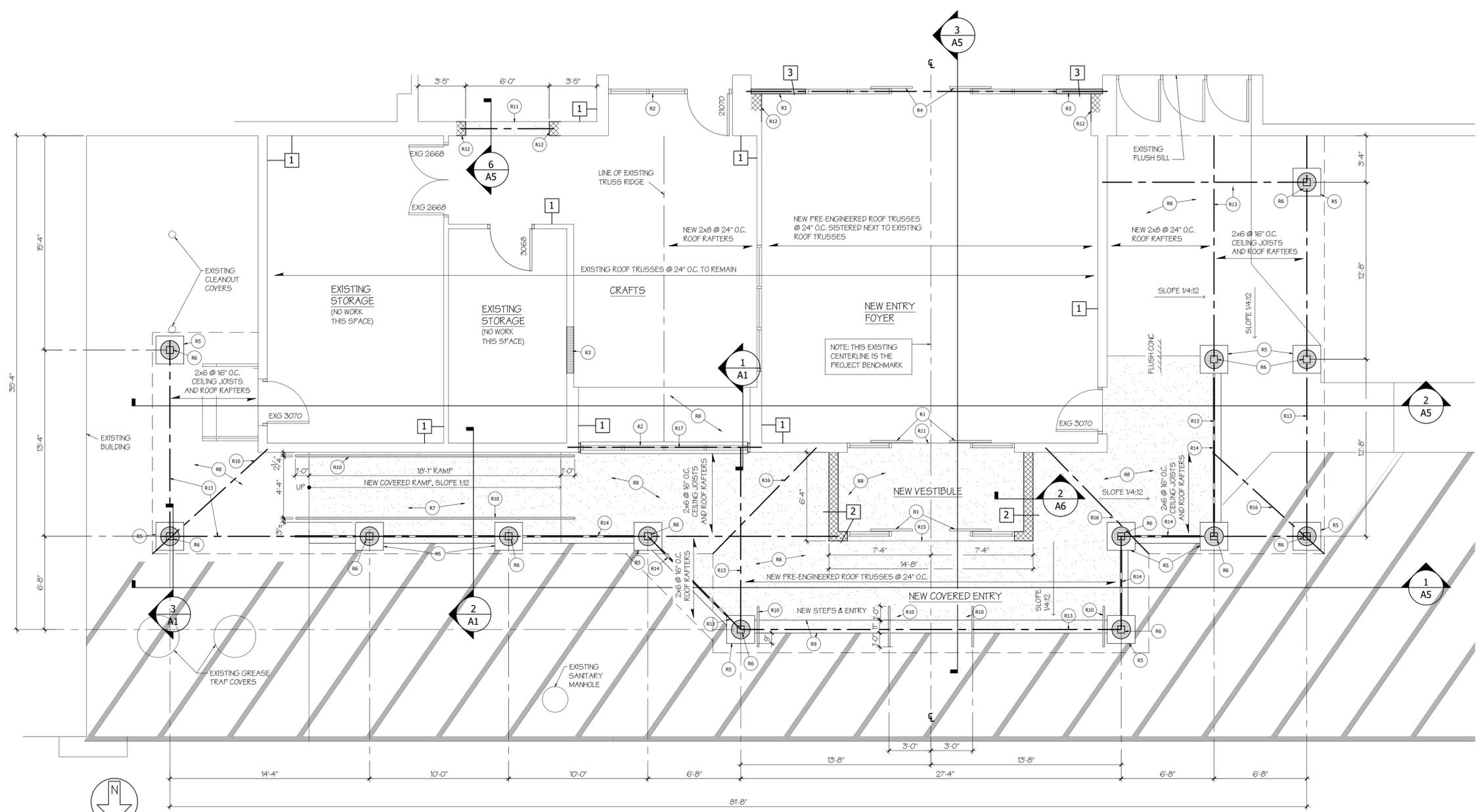


ADDITIONS AND RENOVATIONS TO
MODERN MATURITY CENTER:
LONGWOOD ENTRANCE
1121 FORREST AVENUE
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RENOVATION
FLOOR PLAN &
RENOVATION
NOTES

TEAM
WHL & MAS
CHECKED
W.B.
DATE
4 OCTOBER 2024
SCALE
NOTED
JOB NO.
C1366-0919
SHEET

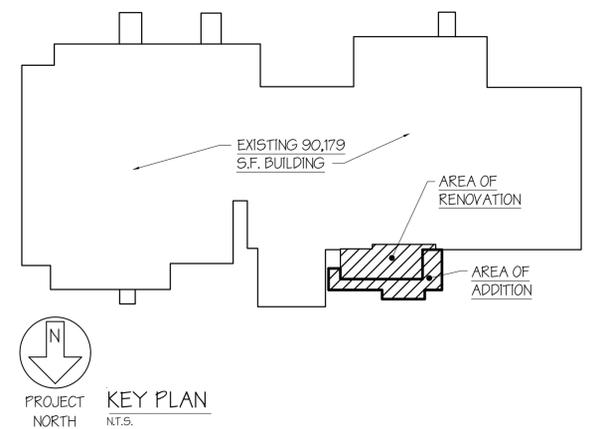
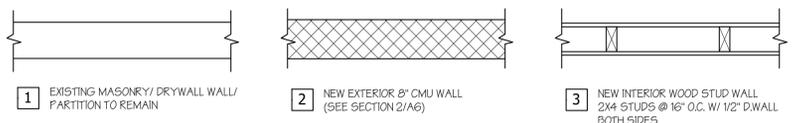
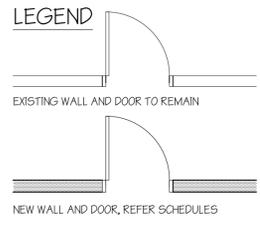
A2
OF SHEETS



- FLOOR PLAN RENOVATION KEYNOTES:**
- R1 - SALVAGED DOOR SYSTEM
 - R2 - SALVAGED WINDOW SYSTEM
 - R3 - INFILL WALL OPENING TO MATCH EXISTING
 - R4 - NEW AUTOMATIC BIPARTING DOOR SYSTEM WITH SIDELITES
 - R5 - NEW MASONRY PIER
 - R6 - NEW S.T. 6X6 WOOD POST WITH ROUND TAPERED COLUMN WRAP
 - R7 - NEW REINFORCED CONCRETE RAMP
 - R8 - NEW REINFORCED CONCRETE SLAB WITH 10 MIL POLY ON 4" STONE ON COMPACTED FILL (OR UNDISTURBED SOIL)
 - R9 - NEW REINFORCED CONCRETE STEPS
 - R10 - NEW GALVANIZED STEEL PIPE HAND RAILING 1-1/4" TO 1-1/2" DIAMETER
 - R11 - FOUR 8" CONC AT WALL SCAR, TROWEL SMOOTH & FLUSH WITH SURROUNDING CONCRETE FLOOR
 - R12 - PATCH TOOTHING IN NEW MASONRY AT WALL SCAR
 - R13 - NEW ALUMINUM WRAPPED S.T. 3 PLY 2X12 BEAM
 - R14 - 42" HIGH GALVANIZED STEEL PIPE GUARD RAIL
 - R15 - FLUSH SILL (1/2" MAX. THRESHOLD WITH BOTH SIDES BEVELED)
 - R16 - 2x8 VALLEY RAFTER
 - R17 - (4) 2x12 HEADER



PROJECT NORTH
RENOVATION FLOOR PLAN
1/4" = 1'-0"

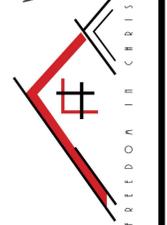


REVISIONS	BY
CITY OF DOVER PERMIT SET - 10/4/2024	



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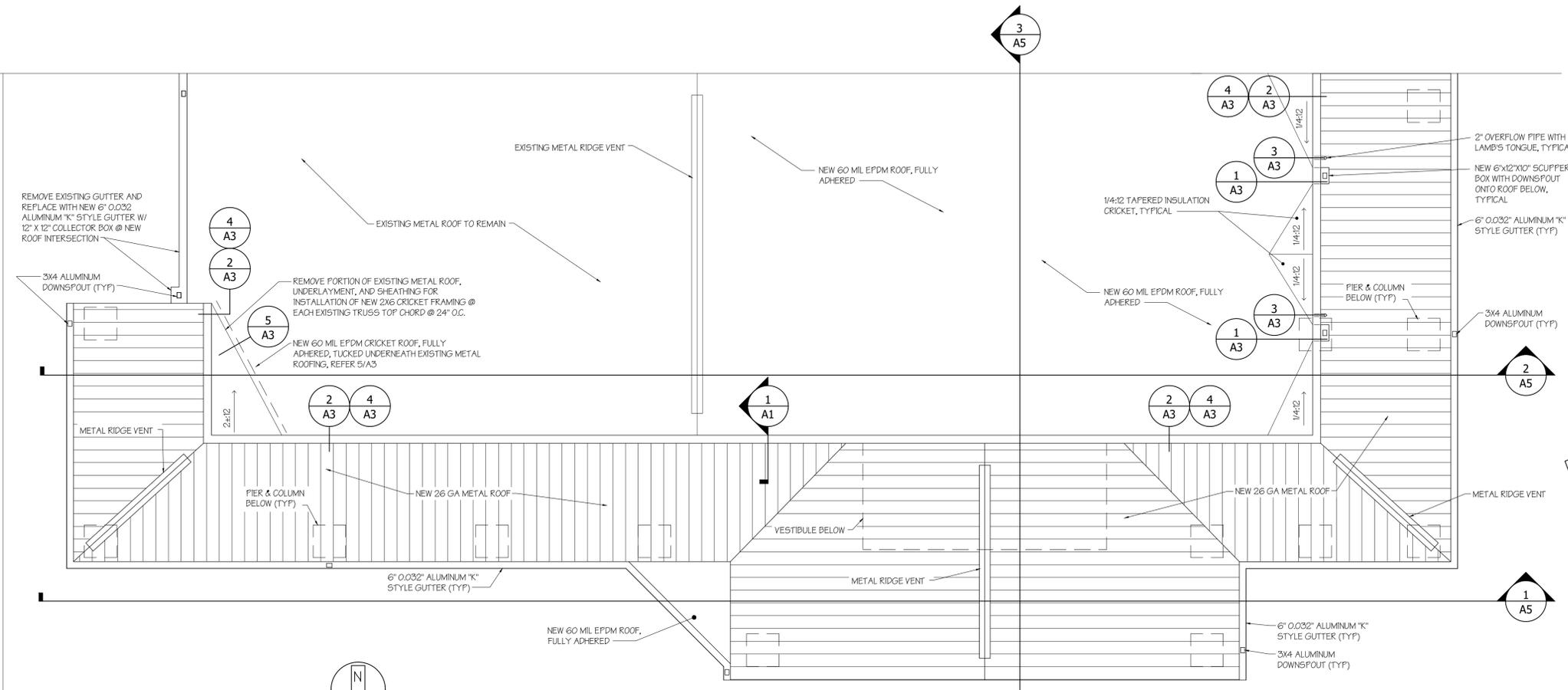


ADDITIONS AND RENOVATIONS TO
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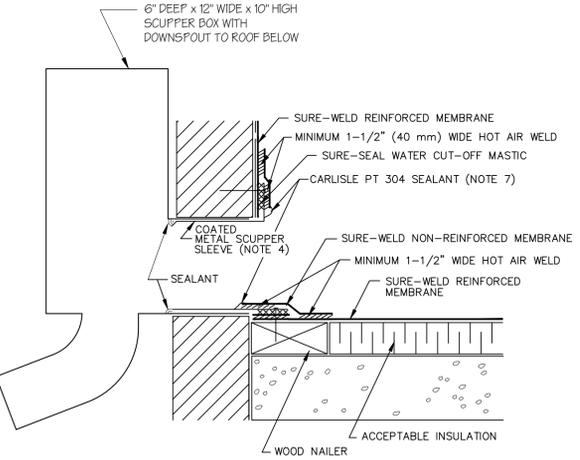
ROOF PLAN #
DETAILS

SCALE
WHL & MAS
CHECKED
W.B.
DATE
4 OCTOBER 2024
SCALE
NOTED
JOB NO.
C1366-0919
SHEET

A3
OF SHEETS



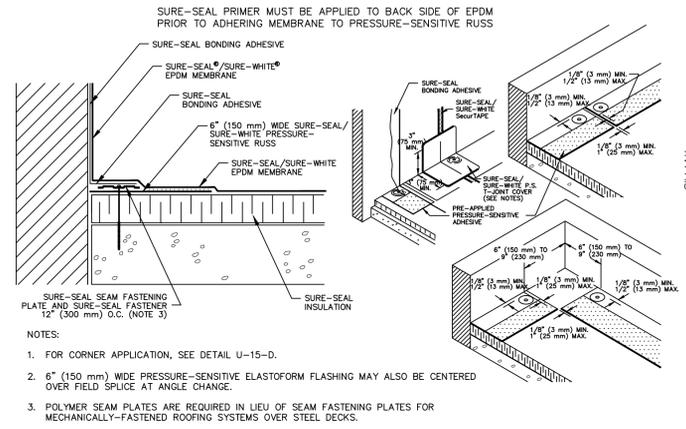
RENOVATION ROOF PLAN
1/4" = 1'-0"
PROJECT NORTH



- NOTES:
- TREATED WOOD NAILER MUST EXTEND PAST TOTAL WIDTH OF DECK FLANGE.
 - INSTALL WALL FLASHING PRIOR TO SCUPPER INSTALLATION.
 - DISCONTINUE FASTENING PLATES AT SCUPPER OPENING AS SHOWN.
 - METAL SCUPPER BOX MUST HAVE CONTINUOUS SIDES; METAL FLANGE MUST BE CONTINUOUS WITH ROUNDED CORNERS.
 - WATER CUT-OFF MASTIC UNDER SCUPPER FLANGE MUST BE UNDER CONSTANT COMPRESSION.
 - MINIMUM 2" (50 mm) SPLICE FROM NAIL HEAD.
 - PT 304 SEALANT IS REQUIRED AT FLASHING EDGE ON SCUPPER EDGE. CARLISLE HP-250 PRIMER MUST BE USED TO PREPARE SURFACES PRIOR TO APPLYING PT 304 SEALANT.

1 SCUPPER DETAIL AND SCUPPER BOX
NT.S.

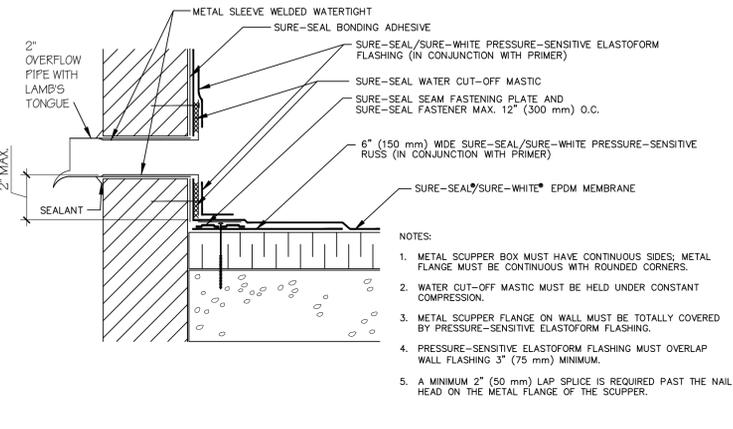
SW-18B



PS-12-C
CARLISLE
Carlisle SynTec

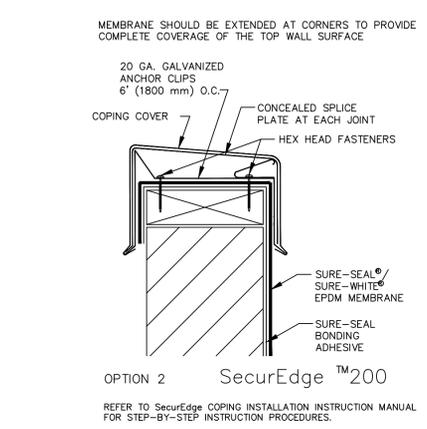
2 EPDM DETAIL @ PARAPET WALL
NT.S.

- NOTES:
- ROOF DETAILS ON THIS SHEET ARE BASED ON CARLISLE SYNTAX DETAILS, WHICH ARE THE BASIS-OF-DESIGN. IF ANOTHER MANUFACTURER OF EPDM IS USED, THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE EPDM MANUFACTURER'S DETAILS AND INSTRUCTIONS.
 - "OTHER" = OTHER THAN CARLISLE AND IS PART OF THE WORK.
 - REFER SECTIONS ON SHEETS A5 AND A6 FOR LOCATIONS, SUBSTRATES, AND ADDITIONAL NOTES AND DIMENSIONS



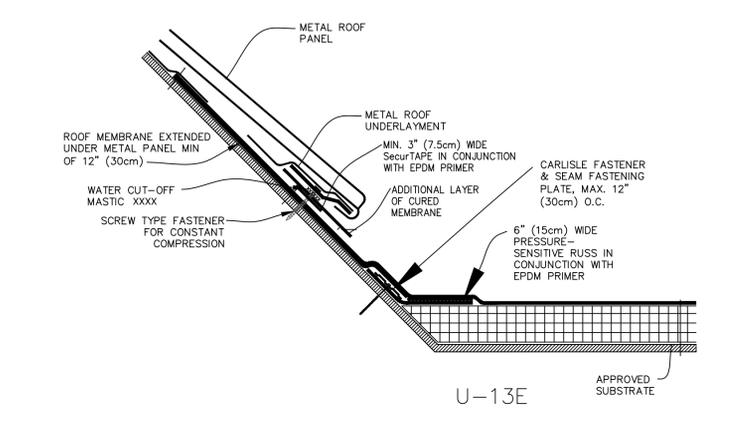
U-18-C
CARLISLE
Carlisle SynTec

3 EPDM DETAIL @ OVERFLOW SCUPPER
NT.S.



U-9-T
CARLISLE
Carlisle SynTec

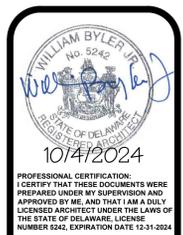
4 EPDM DETAIL @ PARAPET COPING CAP
NT.S.



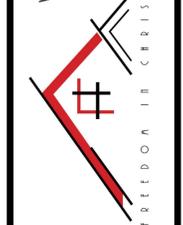
U-13E
CARLISLE
Carlisle SynTec

5 EPDM DETAIL @ TIE-IN TO METAL ROOF
NT.S.

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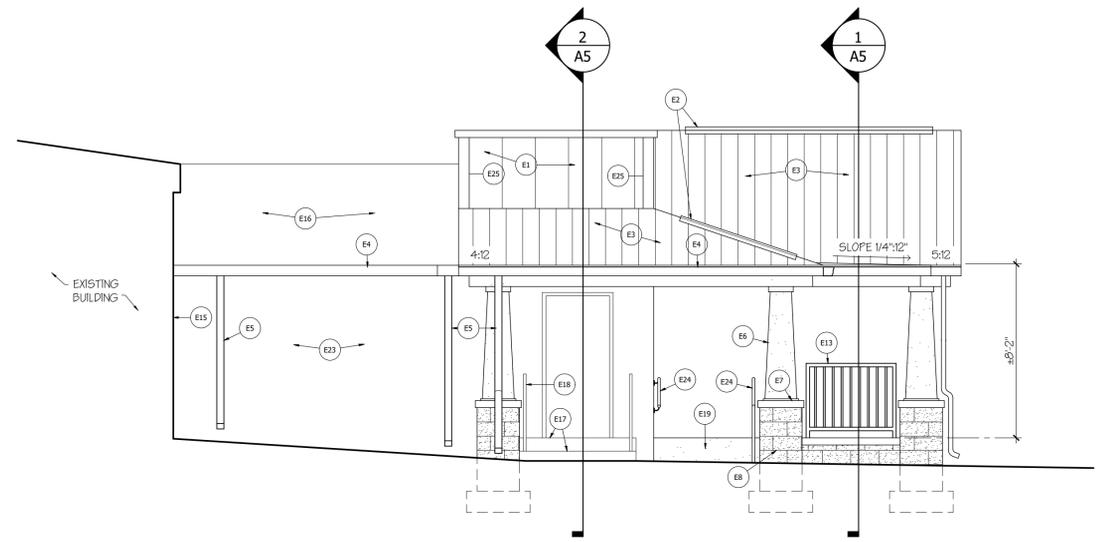


ADDITIONS AND RENOVATIONS TO
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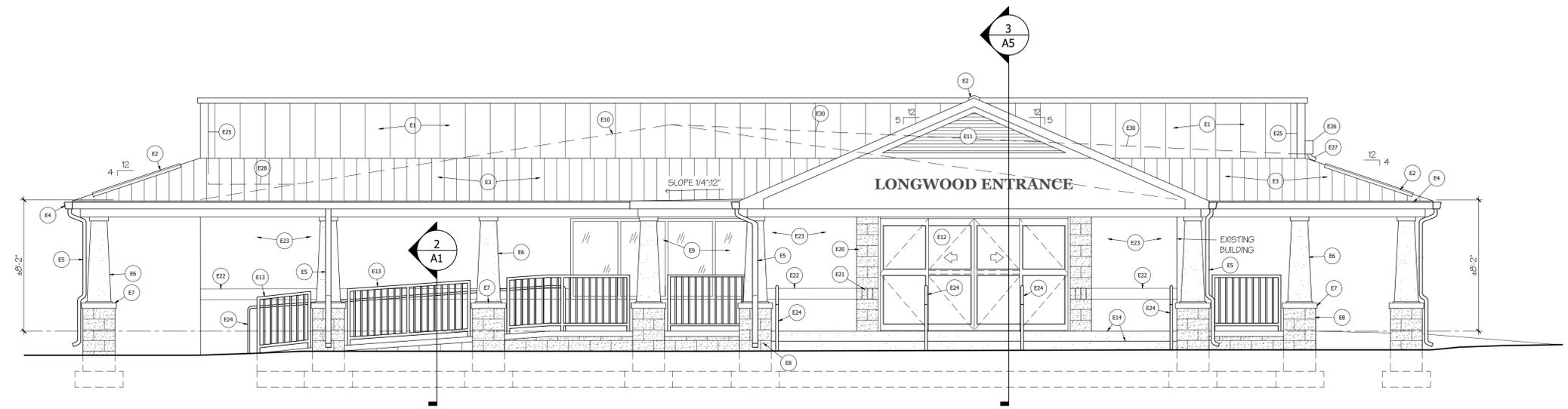
EXTERIOR
 ELEVATIONS &
 ELEVATION
 NOTES

TEAM
 WHL & MAS
 CHECKED
 W.B.
 DATE
 4 OCTOBER 2024
 SCALE
 NOTED
 SHEET NO.
 C1366-0919
 SHEET

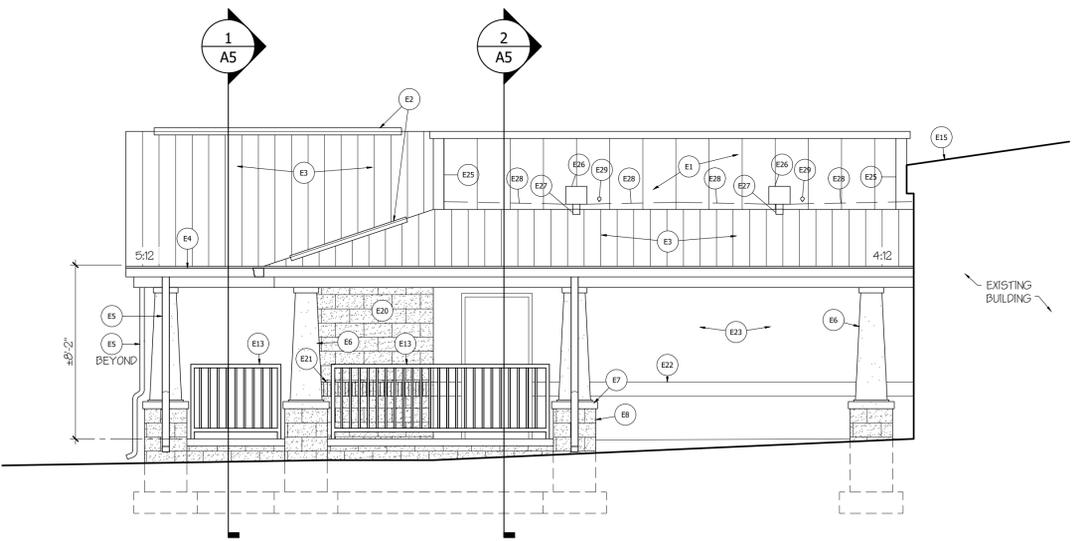
A4
 OF SHEETS



EAST ELEVATION
 1/4" = 1'-0"



NORTH ELEVATION
 1/4" = 1'-0"

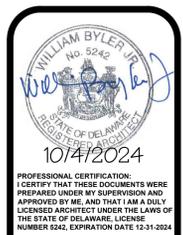


WEST ELEVATION
 1/4" = 1'-0"

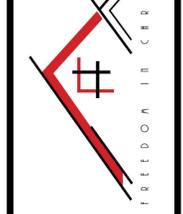
ELEVATION KEYNOTES:

- (E1) PARAPET WALL W/ METAL WALL PANEL
- (E2) METAL RIDGE VENT
- (E3) 26 GA METAL ROOF PANEL
- (E4) 6" 0.032 ALUMINUM K" STYLE GUTTER
- (E5) 3x4 ALUMINUM DOWNSPOUT
- (E6) ROUND TAPERED COLUMN
- (E7) STONE CAP
- (E8) MASONRY PIER W/ 4" SPLIT FACE CMU VENEER
- (E9) SALVAGED WINDOW SYSTEM
- (E10) EXISTING BUILDING ROOF LINE BEYOND
- (E11) GABLE ROOF VENT
- (E12) SALVAGED AUTOMATIC SLIDING DOOR SYSTEM
- (E13) GALVANIZED STEEL GUARD RAIL SYSTEM 42" HIGH W/ SPINDLES AND BOTTOM RAIL SPACED SO THAT 4" Ø SPHERE CANNOT PASS THROUGH
- (E14) CONC STEPS
- (E15) EDGE OF EXISTING BUILDING
- (E16) EXISTING METAL ROOF PANEL
- (E17) EXISTING CONC STEPS AND LANDING TO REMAIN
- (E18) EXISTING RAILING TO REMAIN
- (E19) CONCRETE RAMP
- (E20) VESTIBULE WITH PAINTED SPLIT-FACED CMU TO MATCH EXISTING
- (E21) SCORED SPLIT-FACED ARCHITECTURAL BLOCK ACCENT COURSE TO MATCH EXISTING (3-SCORE ON NORTH SIDE, 7-SCORE ON EAST & WEST SIDE, SAME AS EXISTING BUILDING, FIELD VERIFY)
- (E22) EXISTING PAINTED SCORED ACCENT COURSE
- (E23) EXISTING SPLIT FACED CMU
- (E24) NEW GALVANIZED STEEL PIPE HAND RAILING 1-1/4" TO 1-1/2" DIAMETER 2'-10" TO 3'-2" ABOVE WALKING SURFACE OR TREAD NOSING
- (E25) 1x6 NOMINAL PVC TRIM, WHITE
- (E26) 6" DEEP x 12" WIDE x 10" HIGH ALUMINUM ROOF SCUPPER
- (E27) 3x4 ALUMINUM DOWNSPOUT TO ROOF BELOW
- (E28) LINE OF NEW ROOF CRICKET, BEYOND
- (E29) 2" OVERFLOW PIPE WITH LAMB'S TONGUE
- (E30) LINE OF NEW ROOF, BEYOND

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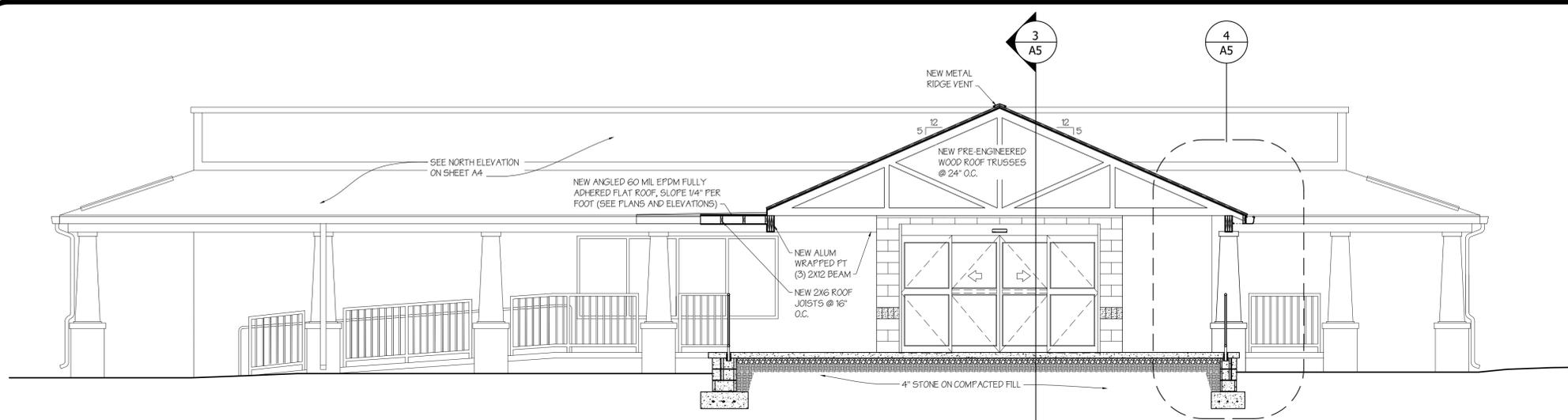


ADDITIONS AND RENOVATIONS TO
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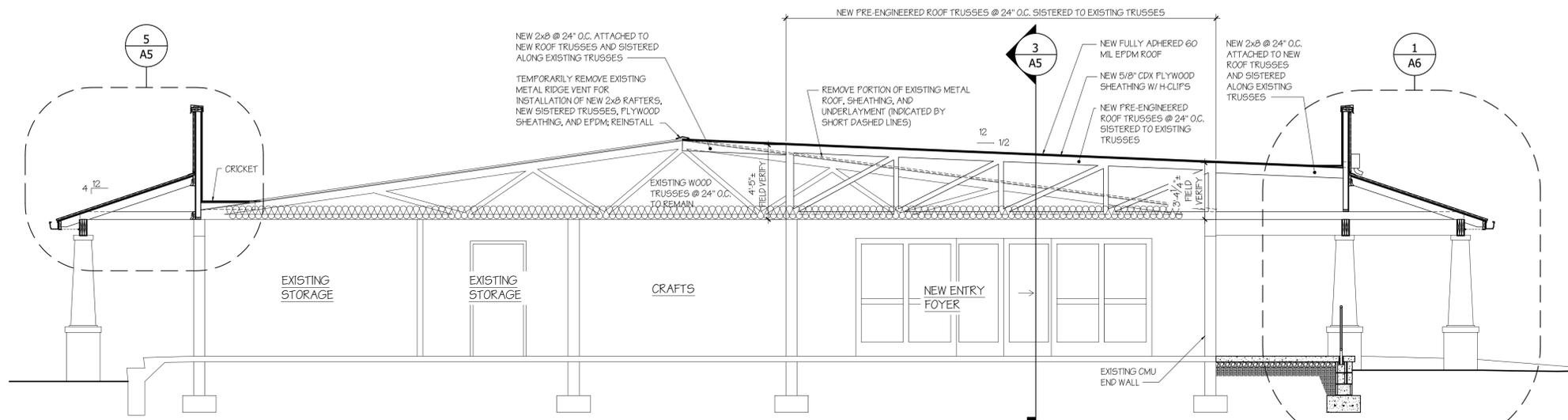
SECTIONS AND DETAILS

SCALE
 CHECKED
 W.B.
 DATE
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 SCALE
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 SHEET

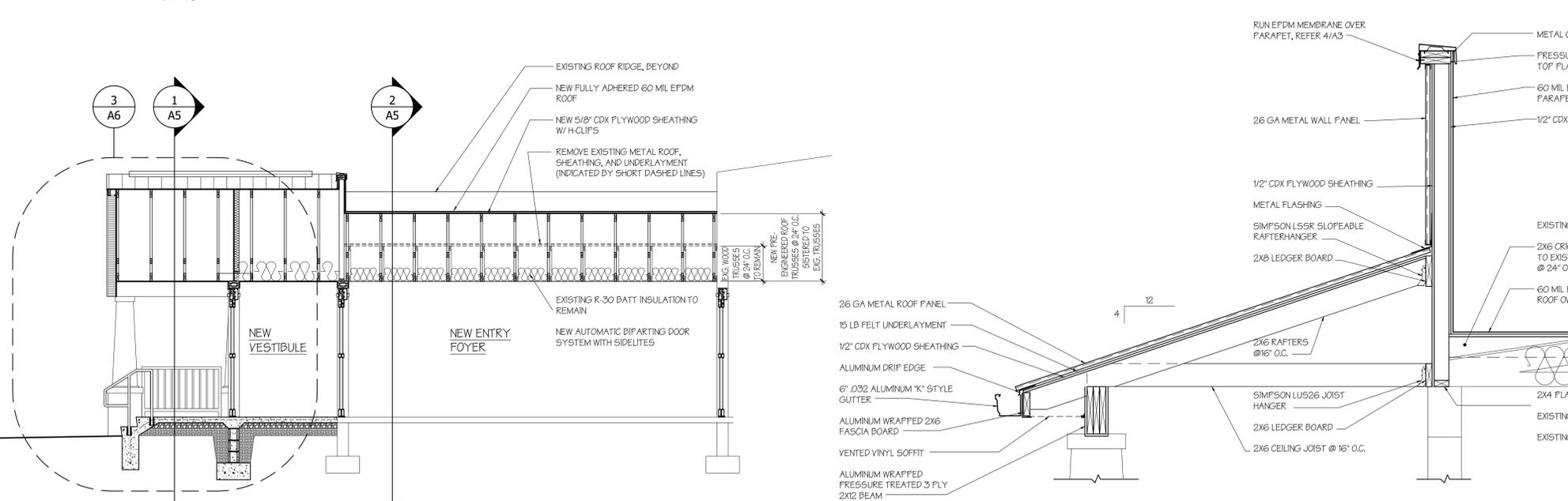
A5
 OF SHEETS



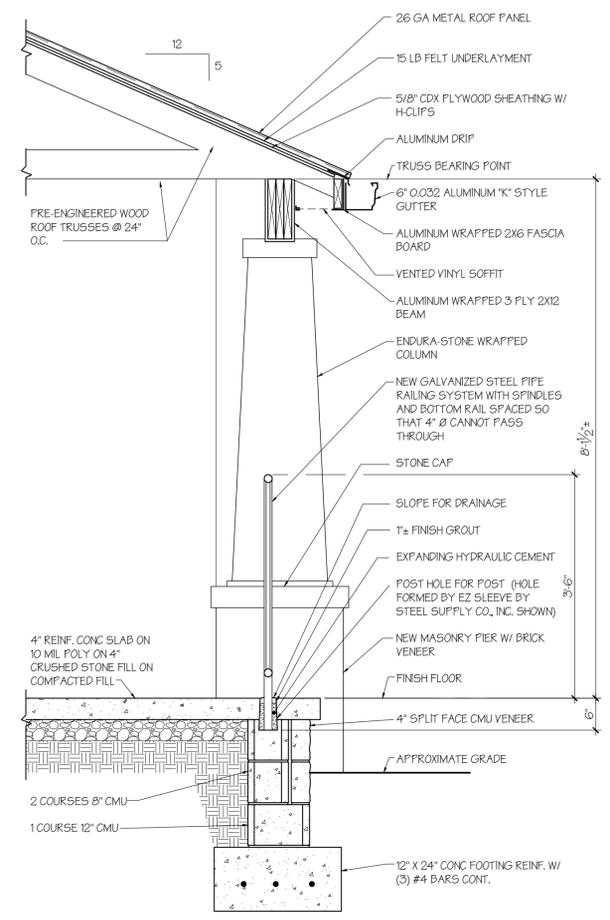
1 COVERED ENTRY SECTION
 1/4" = 1'-0"



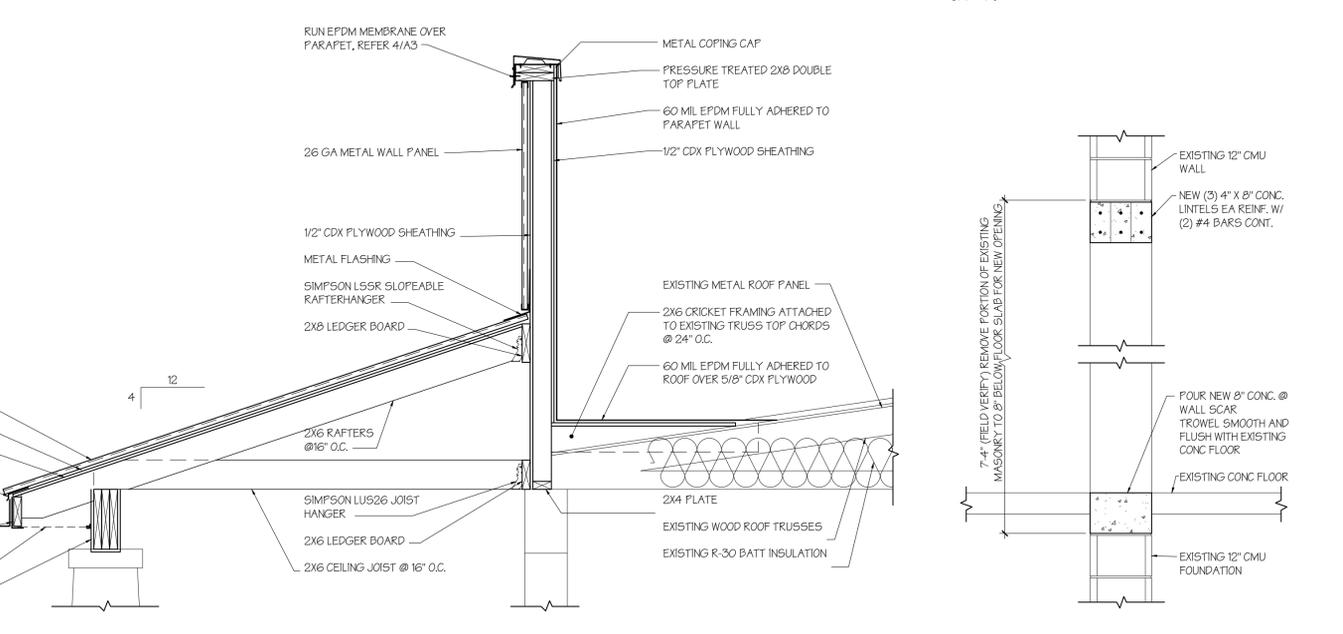
2 LONGITUDINAL SECTION
 1/4" = 1'-0"



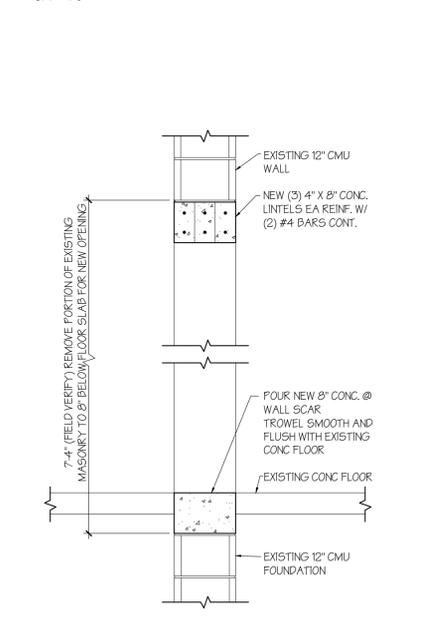
3 TRANSVERSE SECTION
 1/4" = 1'-0"



4 SECTION @ NEW GABLE ROOF
 3/4" = 1'-0"



5 SECTION @ NEW PARAPET WALL
 3/4" = 1'-0"

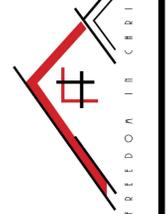


6 CONCRETE LINTEL DETAIL
 3/4" = 1'-0"

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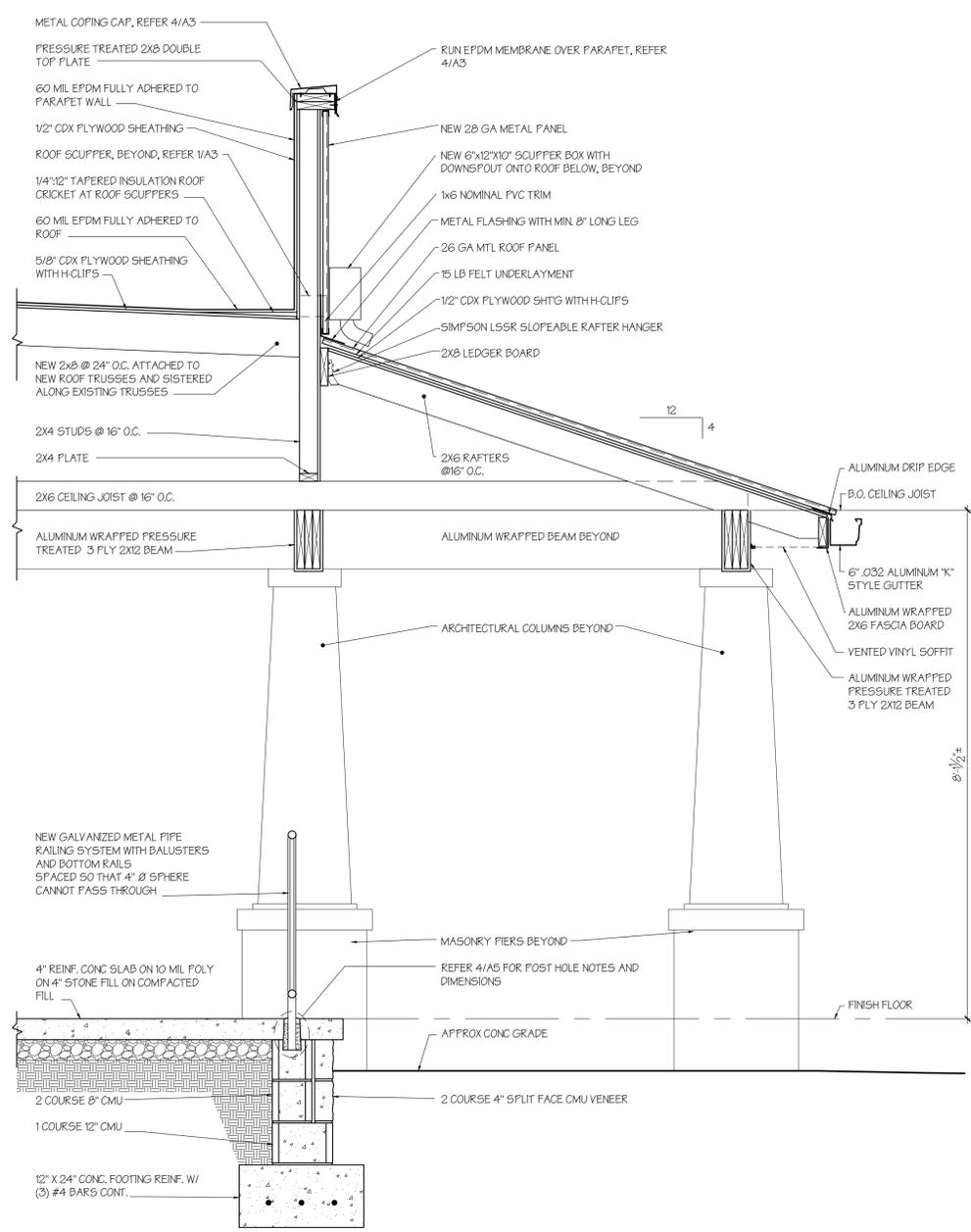


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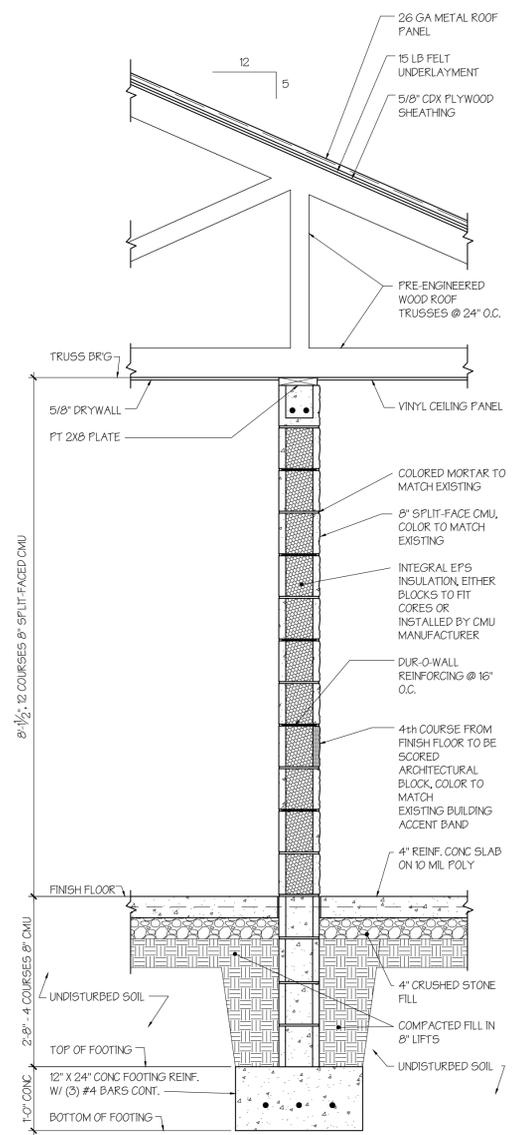
SECTIONS

DESIGN: WHL & MAS
 CHECKED: W.B.
 DATE: 4 OCTOBER 2024
 SCALE: NOTED
 SHEET NO: C1366-0919

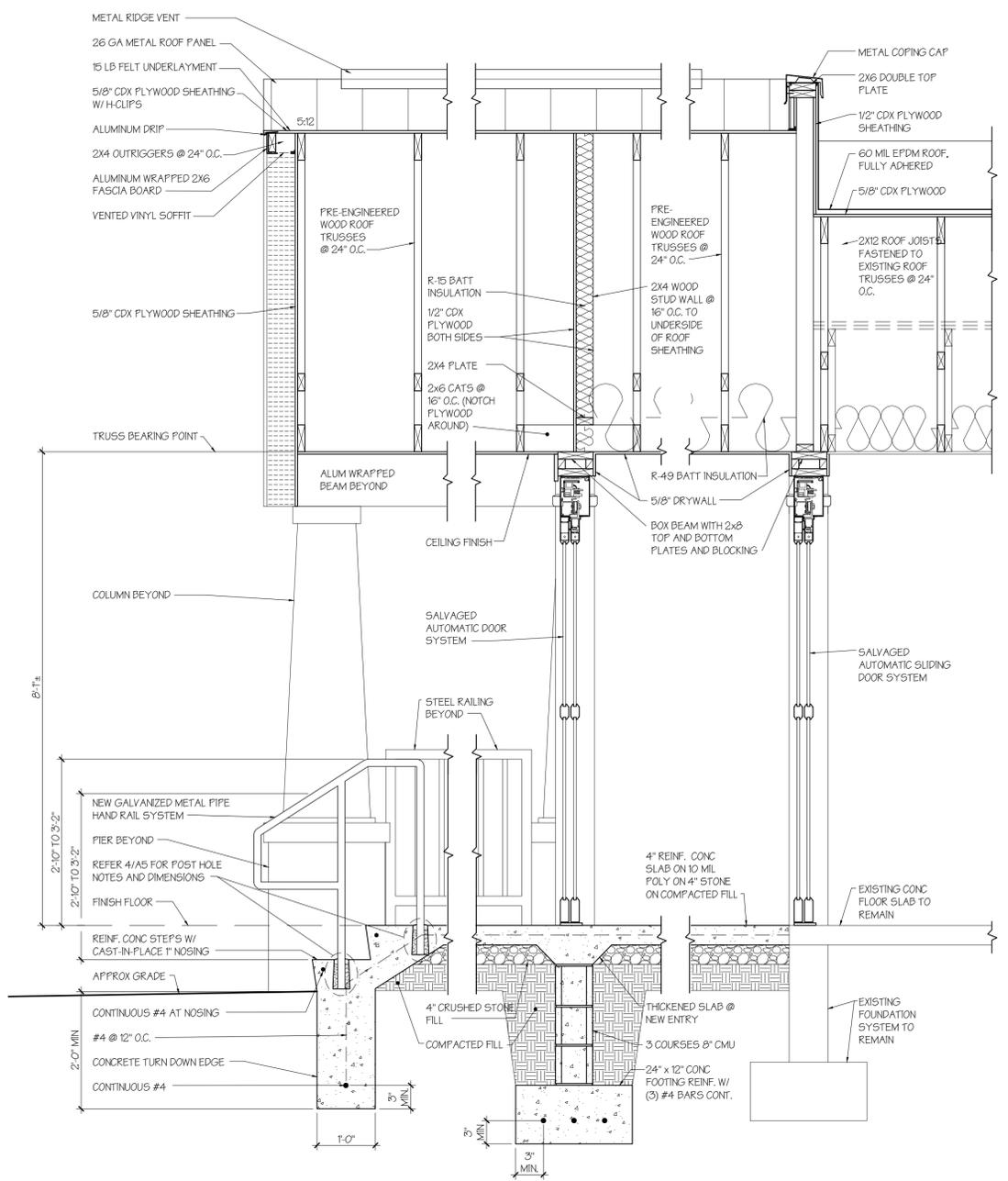
A6



1 SECTION @ NEW PARAPET WALL
 3/4" = 1'-0"



2 WALL SECTION @ NEW VESTIBULE
 3/4" = 1'-0"



3 SECTION @ NEW ENTRY
 3/4" = 1'-0"