



**Richard Y. Johnson & Son, Inc.**  
General Contractors & Construction Managers  
Serving Delaware Since 1946  
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**Milford Welcome Center  
Home of the Milford Museum  
400 NE Front Street Milford, Delaware  
Project No. 1884A003.A01  
Bid Pac A – Contracts 1 thru 9  
March 10, 2025**

## **Addendum No. 2**

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Attention all Prospective Bidders:

The following clarifications, changes and /or additions shall by this reference be incorporated into the contract documents as though gully set forth therein.

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Addendum No. 2 consists of:  
RYJ Written directive (4 pages)  
Revised Drawings (14 drawings)

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### **Non – Technical Specifications**

#### **Section 001116 – Advertisement to Bid**

Bid Date has been revised to: **March 25, 2025 at 2:00pm**

Last day for RFI Questions: Friday, March, 14, 2025 by noon.

#### **Section 004126 - Bid Form**

Bid Date Change: March 25, 2025 by 2:00pm  
Revised Bid Form will be provided in Addendum 3 – March 19, 2025

#### **Section 011100– Summary of Work**

##### **Bid Pac A – Contract 1 Concrete & Masonry Work**

Page 011100-6 – **Replace Paragraph S** with: “Provide an allowance of \$25,000 in the contract for unforeseen conditions that may arise during construction to be used at the discretion of the Construction Manager.”

##### **Bid Pac A – Contract 5 Floor Coverings**

Page 011100-14 – **Add Paragraph P**: “Provide an allowance of \$25,000 in the contract for unforeseen conditions that may arise during construction to be used at the discretion of the Construction Manager.”

**Bid Pac A – Contract 7A Plumbing**

Page 011100-18 – **Revise Title to read:** “Scope of Work – Bid Pac A; Contract No. 7A Plumbing”

**Bid Pac A – Contract 7A Plumbing**

Page 011100-19 – **Add Paragraph EE:** “Provide an allowance of \$25,000 in the contract for unforeseen conditions that may arise during construction to be used at the discretion of the Construction Manager.”

**Bid Pac A – Contract 9 Electrical**

Page 011100-25 – **Revise Title to read:** “Scope of Work – Bid Pac A; Contract No. 9 Electrical”

**Section 012100 - Allowances**

**Page 012300 – 2: Section 3.1 Schedule of Allowances**

**Replace Allowance 1 with:**

- A. Allowance No. 1 (Contract 1 Concrete and Masonry Work): Include the lump sum of the following amount \$25,000 in the contract for unforeseen conditions that may arise during construction to be used at the discretion of the Construction Manager.

**Add Alternate 4:**

- D. Allowance No. 4 (Contract 5 Floor Covering Work): Include the lump sum of the following amount \$25,000 in the contract for unforeseen conditions that may arise during construction to be used at the discretion of the Construction Manager.

**Add Alternate 5:**

- E. Allowance No. 5 (Contract 7A Plumbing): Include the lump sum of the following amount \$25,000 in the contract for unforeseen conditions that may arise during construction to be used at the discretion of the Construction Manager. (Note: If contractor bids only Contract 7 Mechanical; include allowance in bid cost.)

**Bidders Questions + Clarification**

<b>RFI No.</b>	<b>Description</b>
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**RFI 1**

**Question:**

There is no single line diagram included in the Electrical drawings. Please clarify if existing service and/or feeders are to be re-used and to what extent, and please provide a single line diagram with conductor/conduit requirements.

**Answer:**

To be answered in future Addendum

**RFI 2**

**Question:**

Looking through this project it appears there's a ramp railing for me in the front of the building. I'm having no luck finding what it's made from or the finish? Let me know if you see that info somewhere that I may have overlooked.

**Answer:**

Revised drawings have been provided, see addendum 2.

**RFI 3**

**Question: (Answered in Addendum 1)**

In Alternate 1, it says to provide fit out of second fl finishes, I don't see a second fl. Do we need bid bonds for this?

**Answer:**

See revised bid form this addendum; no bond is required.

**RFI 4**

**Question: (Answered in Addendum 1)**

Can you also clarify Alt 2? Is the base bid painting the interior perimeter walls or the entire rooms of the exterior walls?

**Answer:**

See revised bid form, alternate 2 is just for the interior perimeter walls of the basement area.

**RFI 5**

**Question:**

There are numerous sections that are not included in the specs. Doors hardware, finished carpentry, rough carpentry, visual display, toilet partitions, toilet accessories, etc. please advise.

**Answer:**

Door locks shall be best and keyed alike on a master system. The museum does not have a current system.

Wood trim @ openings shall be 1x painted poplar

No visual displays other than signage for all restrooms

Toilet accessories answered in RFI 6

Toilet partition door in basement shall be solid plastic.

**RFI 6**

**Question:**

Are there any scheduled walk thru's? Can a detail be provided for the metal trim Note 12 on A-102? item E: Provide all exterior building signage, plaques and cast letters complete.

a. There are no elevation showing signs or spec. Please clarify if this work is required

item G: Provide all toilet accessories

b. Please provide specs and or model numbers.

Item W: Please provide specs for lift.

**Answer:**

Walk thrus can be scheduled; please email [jdixon@ryjson.com](mailto:jdixon@ryjson.com); Changed mtl trim to wood trim - detail added to drawings.

No exterior building signage

Toilet paper dispenser: bradley model 5425

Paper towel dispenser: bradley model 2489

Soap dispenser: bradley model 6562

Mirror shall be channel frame 24"x36"

Grab bars to be provided as noted on the drawings

Lift basis of design: savaria model v1504

**RFI 7**

**Question:**

Should I assume mech, elec, stor areas have concrete floors? Epoxy paint in bathrooms, and HPC on the Canopy steel?

**Answer:**

See finish schedule for floor finishes

Epoxy paint in bathrooms is acceptable

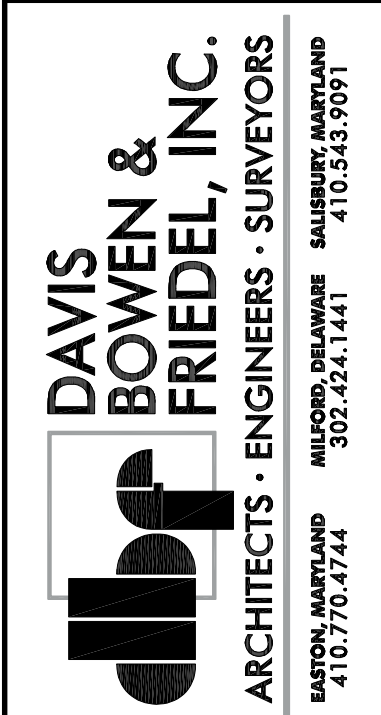
Canopy steel/framing shall be painted with high performance coating

End of Addendum No. 2



# MILFORD WELCOME CENTER HOME OF MILFORD MUSEUM

400 NE FRONT ST.  
MILFORD, DE 19963  
DBF PROJ. NO.: 1884A003.A01



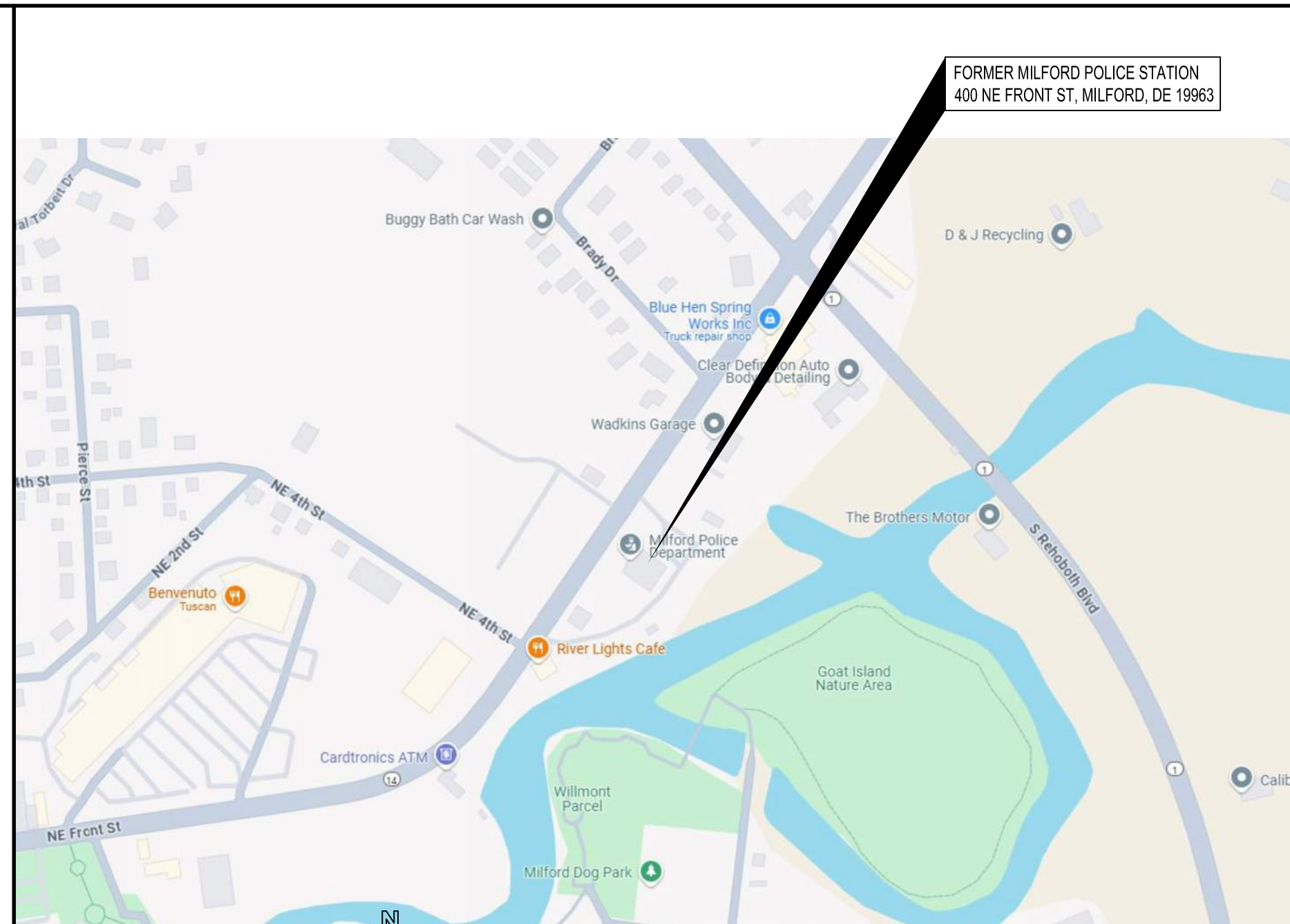
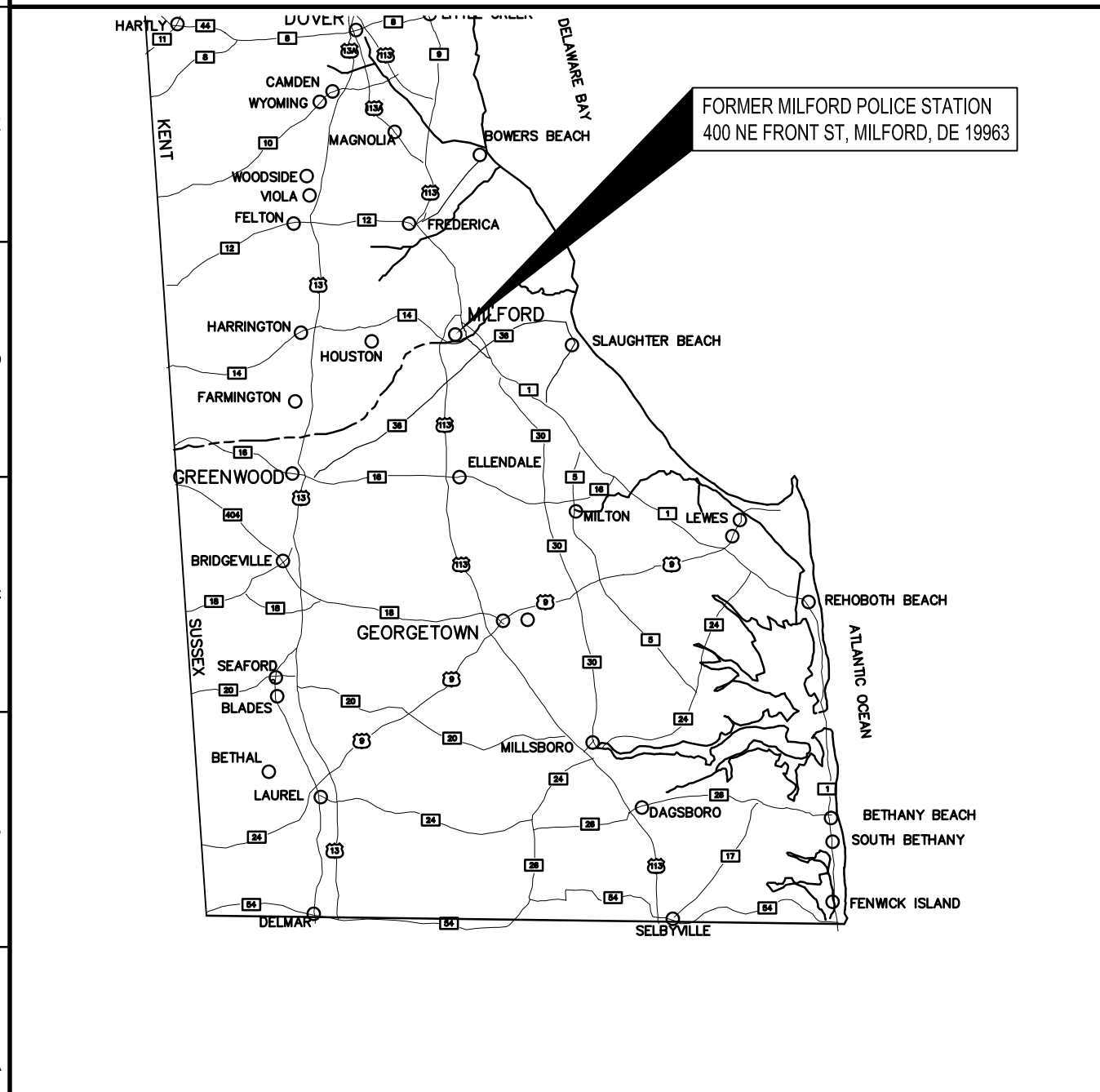
## DRAWING INDEX

GENERAL	
G-101	COVER SHEET
G-102	GENERAL NOTES/ SYMBOLS & ABBREVIATIONS
G-103	LIFE SAFETY PLANS & CODE DATA
ARCHITECTURAL	
A-001	PHASING PLAN
AD101	BASEMENT PLAN - DEMOLITION
AD102	FIRST FLOOR PLAN - DEMOLITION
A-101	BASEMENT PLAN - NEW WORK
A-102	FIRST FLOOR PLAN - NEW WORK
A-103	REFLECTED CEILING PLANS
A-104	ROOF PLAN
A-401	TOILET ACCESSORY PLAN AND SCHEDULE
A-501	DETAILS
A-601	SCHEDULES, DOOR AND FRAME TYPES
A-901	CANOPY PLAN/DETAILS - ALTERNATE
PLUMBING	
PD-1	PLUMBING - SANITARY BASEMENT DEMOLITION PLAN
PD-2	PLUMBING - DOMESTIC BASEMENT DEMOLITION PLAN
PD-3	PLUMBING - SANITARY FIRST FLOOR DEMOLITION PLAN
PD-4	PLUMBING - DOMESTIC FIRST FLOOR DEMOLITION PLAN
P-1	PLUMBING - SANITARY BASEMENT NEW WORK PLAN
P-2	PLUMBING - DOMESTIC BASEMENT NEW WORK PLAN
P-3	PLUMBING - SANITARY FIRST FLOOR NEW WORK PLAN
P-4	PLUMBING - DOMESTIC FIRST FLOOR NEW WORK PLAN
P-5	PLUMBING - SCHEDULES & NOTES

MECHANICAL	
MD-1	MECHANICAL - BASEMENT DEMOLITION PLAN
MD-2	MECHANICAL - FIRST FLOOR DEMOLITION PLAN
MD-3	MECHANICAL - ROOF DEMOLITION PLAN
M-1	MECHANICAL - BASEMENT NEW WORK PLAN
M-2	MECHANICAL - FIRST FLOOR NEW WORK PLAN
M-3	MECHANICAL - ROOF NEW WORK PLAN
M-4	MECHANICAL - SCHEDULES & NOTES
M-5	MECHANICAL - DIAGRAMS
ELECTRICAL	
ED-1	ELECTRICAL - LIGHTING BASEMENT DEMOLITION PLAN
ED-2	ELECTRICAL - LIGHTING FIRST FLOOR DEMOLITION PLAN
ED-3	ELECTRICAL - POWER BASEMENT DEMOLITION PLAN
ED-4	ELECTRICAL - POWER FIRST FLOOR DEMOLITION PLAN
E-1	ELECTRICAL - LIGHTING BASEMENT NEW WORK PLAN
E-2	ELECTRICAL - LIGHTING FIRST FLOOR NEW WORK PLAN
E-3	ELECTRICAL - POWER BASEMENT NEW WORK PLAN
E-4	ELECTRICAL - POWER FIRST FLOOR NEW WORK PLAN
E-5	ELECTRICAL - SCHEDULES & NOTES
E-6	ELECTRICAL - PANEL SCHEDULES
FIRE	
FA-1	FIRE ALARM BASEMENT PLAN
FA-2	FIRE ALARM FIRST FLOOR PLAN

## GENERAL NOTES

- THESE DRAWINGS ARE PROVIDED FOR THE EXCLUSIVE USE OF THE OWNER. OWNER/ARCHITECT SERVICES AGREEMENT IS FOR ARCHITECTURAL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OTHER CONSULTANTS.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS BEFORE CONSTRUCTION. ANY VARIATIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
- ANY CHANGE OR FIELD ALTERATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- ANY ITEMS NOT SPECIFICALLY SHOWN ON THE DRAWINGS, BUT WHICH ARE REASONABLY INCIDENTAL TO AND NECESSARY FOR THE SATISFACTORY COMPLETION OF THE PROJECT IN ACCORDANCE WITH INDUSTRY STANDARDS, ARE INCLUDED WITHIN THE INTENT OF THESE DRAWINGS.
- BUILDING CODE COMPLIANCE, CONSTRUCTION DETAILING, AND COORDINATION RESULTING FROM THE USE OF THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING/BRACING AND CONSTRUCTION MEANS AND METHODS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL AREAS IN AND AROUND THE AREA OF WORK AND SECURE ALL MATERIALS AND EQUIPMENT.
- ALL DIMENSIONS ARE FROM FACE OF STUD/MASONRY TO FACE OF STUD/MASONRY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING AND SHALL BE COORDINATED WITH ALL DISCIPLINES OF CONSTRUCTION.
- CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS AND COORDINATE WITH ALL TRADES.



LOCATION MAP

VICINITY MAP

**MILFORD WELCOME CENTER  
HOME OF MILFORD MUSEUM**  
 400 NE FRONT ST.  
 MILFORD, DE 19963

DATE	COMMENTS
02/26/2025	SHEET ADDED

Date: January 2025  
 Scale: AS NOTED  
 Dwn.By: PJT  
 Proj.No.: 1884A003.A01

COVER SHEET

Dwg.No.:  
**G-101**













- DEMOLITION DRAWING NOTES**
1. REMOVE CMU WALL.
  2. REMOVE STUD WALL AND FINISHES.
  3. REMOVE DOOR, FRAME & HARDWARE.
  4. REMOVE CEILING, FLOORING AND WALL BASE.
  5. REMOVE CASEWORK IN ITS ENTIRETY.
  6. REMOVE PLUMBING FIXTURES AND CAP LINES.
  7. REMOVE TOILET PARTITIONS AND ACCESSORIES.
  8. REMOVE CONCRETE RAMP WHERE SHOWN.
  9. REMOVE WINDOW UNIT, TRIM, AND SILL.
  10. REMOVE WINDOW SILLS & INTERIOR TRIM AROUND WINDOW.
  11. REMOVE SHELVING AND BRACKETS IN THEIR ENTIRETY.
  12. REMOVE CHAIR RAIL.
  13. REMOVE ACCESS FLOORING PANELS.
  14. REMOVE CONCRETE FLOOR PLANK FOR NEW LIFT SHAFT.
  15. REMOVE CEILING TILE AND GRID IN THIS ROOM.
  16. REMOVE BENCH AND STORE FOR REINSTALLATION.
  17. REMOVE EXISTING METAL RAILING IN ITS ENTIRETY.
  18. REMOVE CHAIR RAIL & WALL PANEL FROM EXTERIOR WALL & STORE FOR RELOCATION.
  19. REMOVE CERAMIC FLOOR TILE.
  20. REMOVE WINDOW SILL AND EXTERIOR TRIM AROUND WINDOW.
- GENERAL NOTES:**
1. ALL EXISTING DRYWALL WALLS SHALL BE PATCHED & SKIM COATED & PAINTED.

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03/07/2025	REVISED DRAWINGS

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 Proj.No.: 1884A003.A01

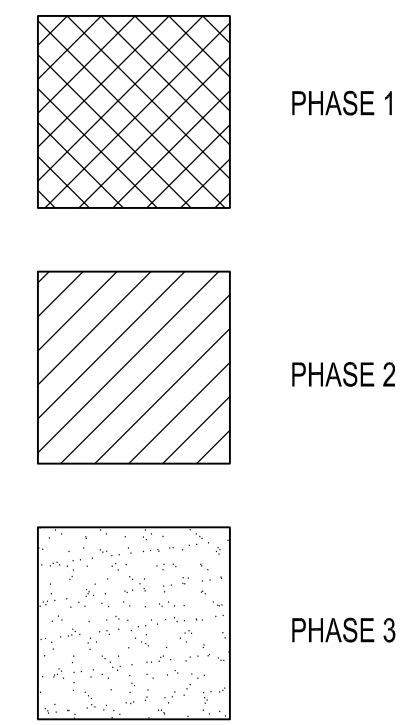
**FIRST FLOOR  
 PLAN -  
 DEMOLITION**

Dwg.No.: **AD102**

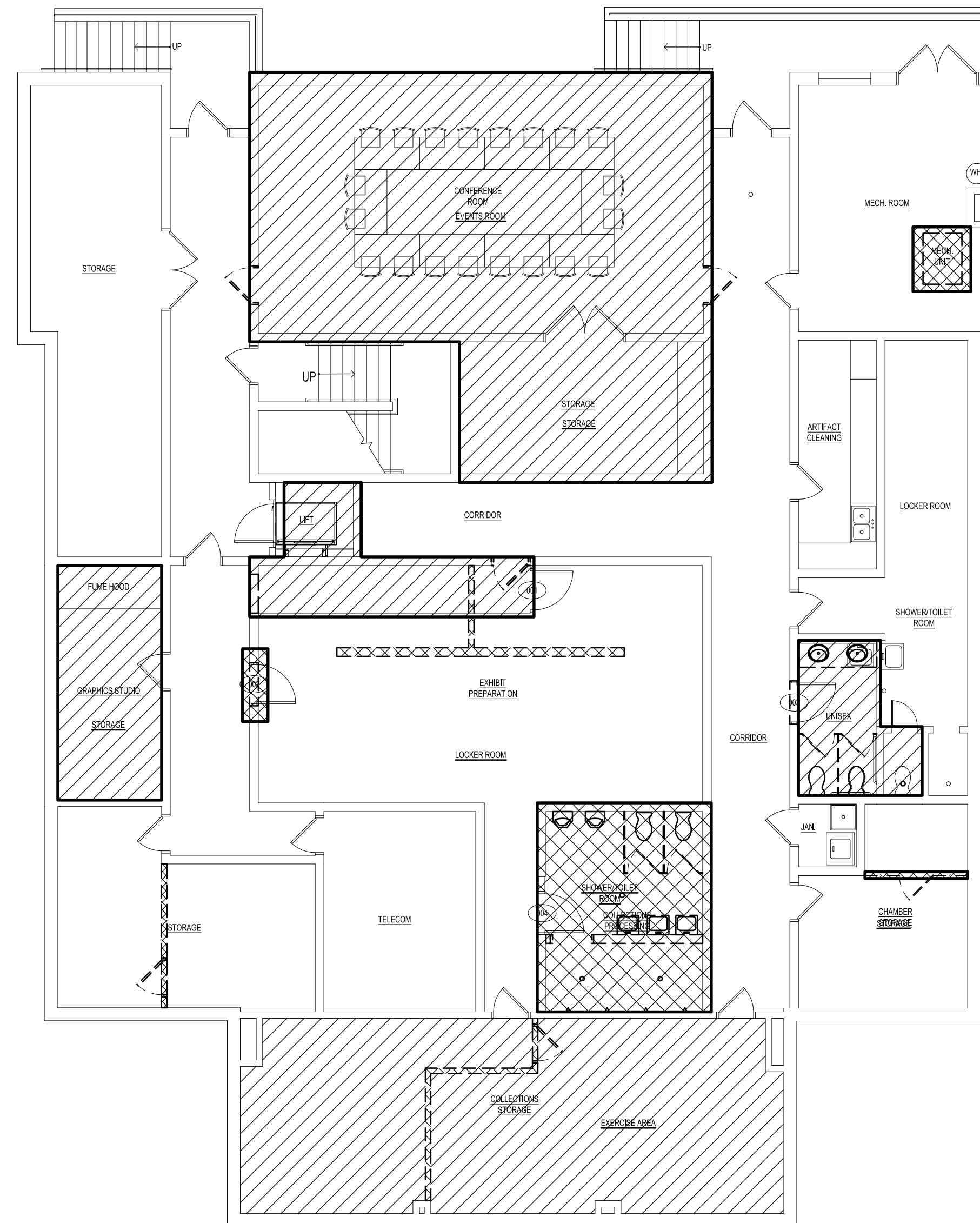
**A1 FIRST FLOOR PLAN - DEMOLITION**

3/16" = 1'-0"





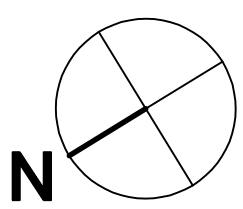
J1 PHASING LEGEND



GENERAL BASEMENT PHASING NOTES:

- PHASE 1:**
1. ALL DEMOLITION.
  2. IMPLEMENT UPGRADES TO HVAC SYSTEMS - REFER TO MEP.
  3. PREPARE EVENTS ROOM FOR TEMPORARY COLLECTIONS STORAGE AND PROCESSING.
  4. MOVE COLLECTIONS TO TEMPORARY STORAGE.
  5. ADDRESS ALL WATER FILTRATION AT ITS SOURCE, RAIN AND FLOOD WATER. REVIEW SITE DRAINAGE.
  6. PAINT THE INTERIOR SIDE OF THE EXTERIOR MASONRY WALLS.
  7. INSTALL SPRINKLER SYSTEM.

- PHASE 2:**
1. CONSERVE AND MOVE COLLECTIONS INTO NEW STORAGE ROOMS
  2. INSTALL ALL COLLECTION STORAGE FURNISHINGS PER DESIGNED LAYOUT.
  3. ACQUIRE AND INSTALL SEATING, TABLES AND AUDIOVISUAL EQUIPMENT.
  4. EVENTS ROOM TO BE REMODELED ONCE ALL COLLECTION ITEMS ARE PROCESSED AND STORED.
  5. CONSTRUCT ADA COMPLIANT TOILET ROOM.
  6. CONSTRUCT NEW CORRIDOR.
  7. REMOVE PLANK FLOORING AND INSTALL NEW LIFT.



A1 BASEMENT PLAN - PHASING PLAN

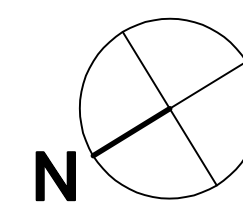
1/8" = 1'-0"

GENERAL FIRST FLOOR PHASING NOTES:

- PHASE 1:**
1. ALL DEMOLITION.
  2. IMPLEMENT MECHANICAL, ELECTRICAL, SECURITY AND COMMUNICATIONS UPGRADES REQUIRED FOR PHASE 1.
  3. PROVIDE THE BEST MEANS OF CLOSING OFF STAFF AREAS TO PUBLIC.
  4. MOVE IN TENANT FURNITURE AND EQUIPMENT.
  5. DEMO WALLS @ MILITARY EXHIBIT & EXHIBIT 6.
  6. NEW MUSEUM RECEPTION, CHAMBER OF COMMERCE OFFICES AND INTRO TO MILFORD AREA.
  7. INSTALL SPRINKLER SYSTEM.
  8. REMOVE & INSTALL NEW RAILINGS @ ENTRY RAMP.

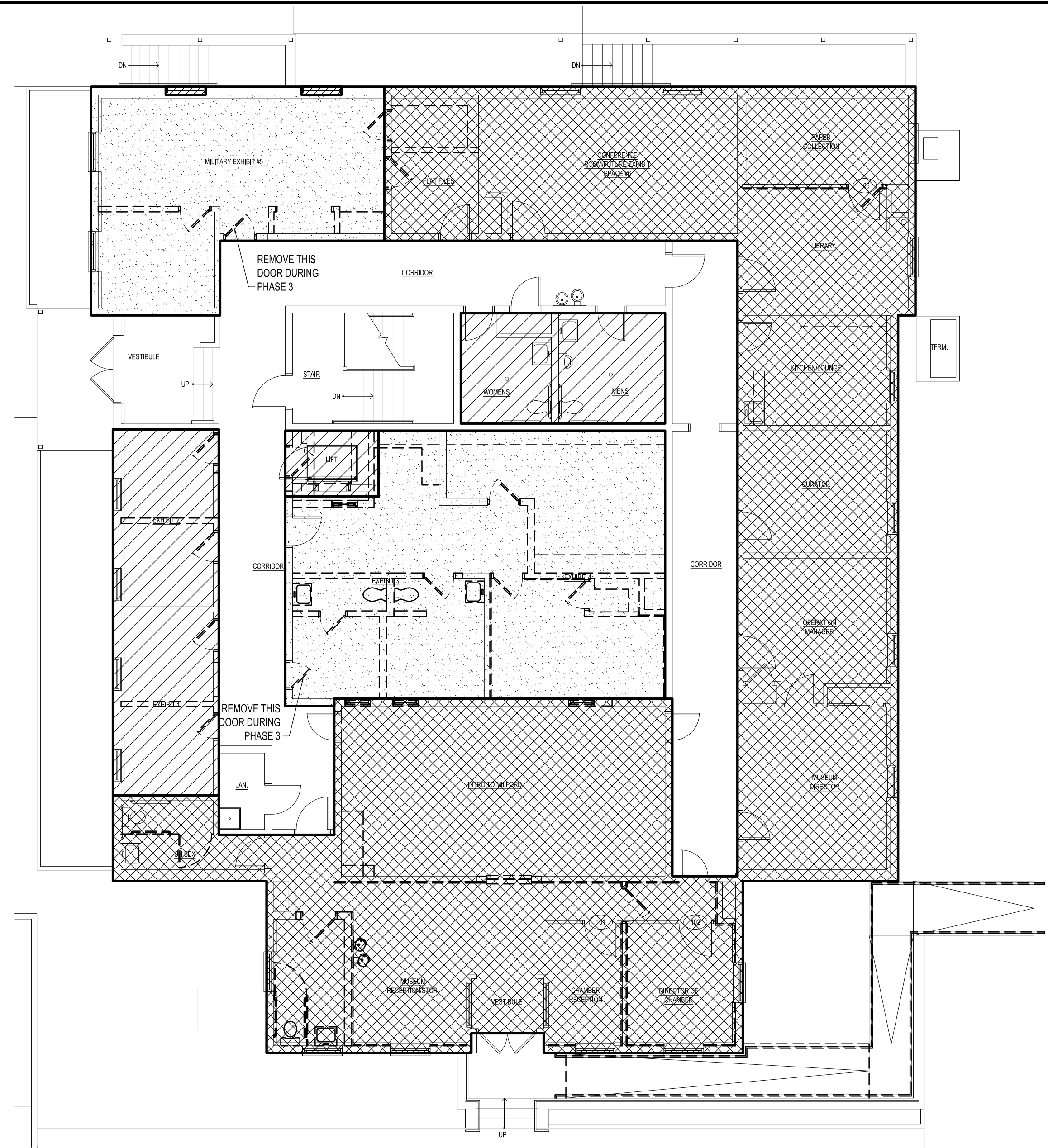
- PHASE 2:**
1. IMPLEMENT MECHANICAL, ELECTRICAL, SECURITY AND COMMUNICATIONS UPGRADES REQUIRED FOR PHASE 2.
  2. EXHIBITS 1 & 2:
    - 2.1. INSTALL AND FINISH ALL WALLS FOR DISPLAYS
    - 2.2. PAINT OUT CEILING AND ANY CEILING MOUNTED UTILITIES FLAT BLACK
    - 2.3. INSTALL CEILING TRACK LIGHTING TO COVER WHOLE ROOM
    - 2.4. DESIGN, BUILD AND INSTALL EXHIBITS
  3. OPEN EXHIBITS 1 & 2 ONCE PHASE 2 IS COMPLETED.
  4. REMOVE WINDOWS AS SHOWN ON PLAN.
  5. REMOVE PLANK FLOORING AND INSTALL NEW LIFT.

- PHASE 3:**
1. EXHIBITS 3, 4, 5 & 6:
    - 1.1. RESTORE ALL FLOORS
    - 1.2. FINISH ALL WALLS FOR DISPLAYS
    - 1.3. PAINT CEILINGS AND ANY CEILING MOUNTED UTILITIES FLAT BLACK
    - 1.4. INSTALL ADJUSTABLE CEILING TRACK LIGHTING TO COVER ALL EXHIBIT SPACES
    - 1.5. DESIGN, BUILD AND INSTALL EXHIBITS



A11 FIRST FLOOR PLAN - PHASING PLAN

1/8" = 1'-0"

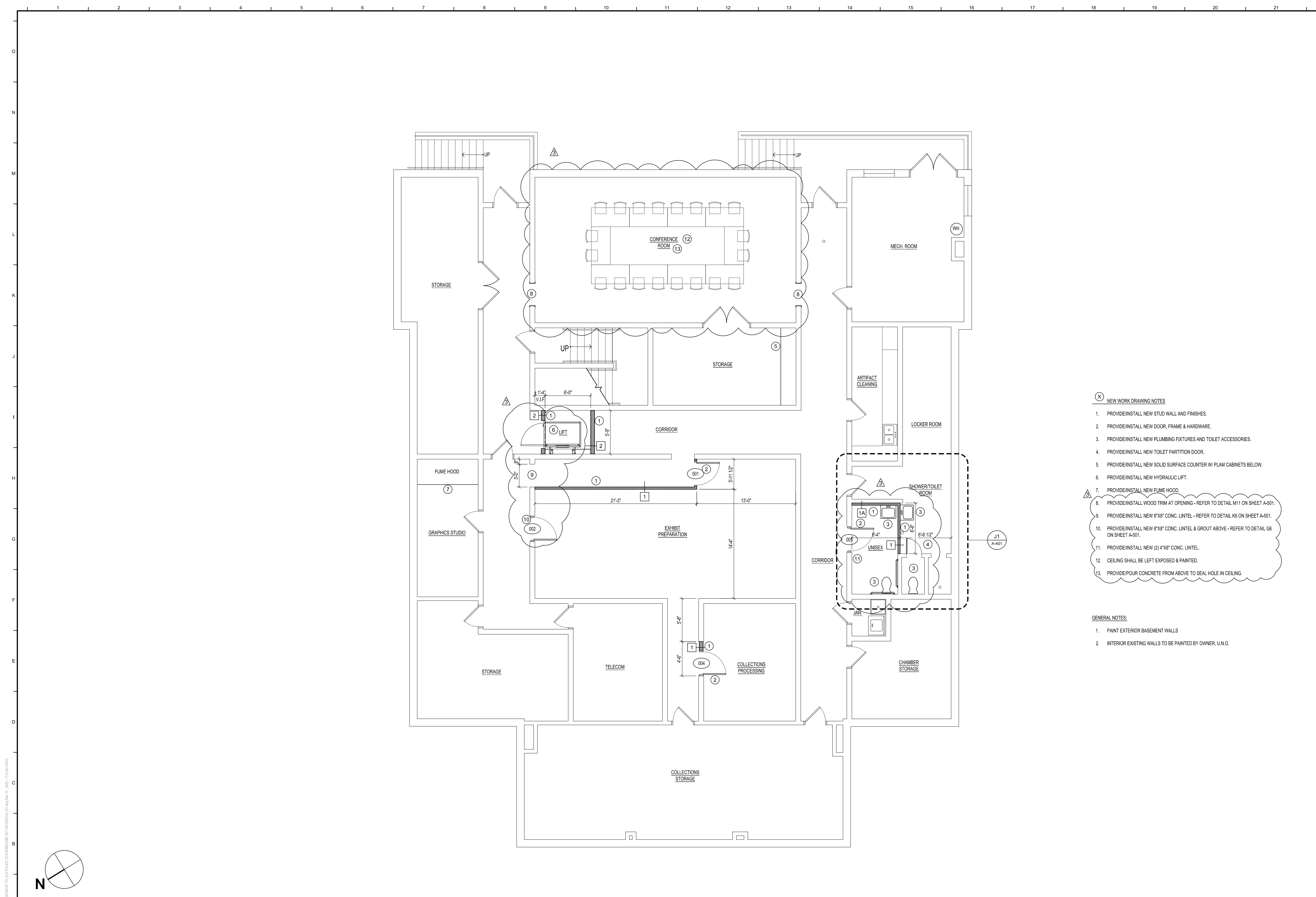


DATE	COMMENTS

Date: January 2025  
Scale: AS NOTED  
Dwn.By: PJT  
Proj.No.: 1884A003.A01

PHASING PLAN

Dwg.No.: **A-001**



- (X) NEW WORK DRAWING NOTES**
1. PROVIDE/INSTALL NEW STUD WALL AND FINISHES.
  2. PROVIDE/INSTALL NEW DOOR, FRAME & HARDWARE.
  3. PROVIDE/INSTALL NEW PLUMBING FIXTURES AND TOILET ACCESSORIES.
  4. PROVIDE/INSTALL NEW TOILET PARTITION DOOR.
  5. PROVIDE/INSTALL NEW SOLID SURFACE COUNTER W/ PLAM CABINETS BELOW.
  6. PROVIDE/INSTALL NEW HYDRAULIC LIFT.
  7. PROVIDE/INSTALL NEW FLUME HOOD.
  8. PROVIDE/INSTALL WOOD TRIM AT OPENING - REFER TO DETAIL M11 ON SHEET A-501.
  9. PROVIDE/INSTALL NEW 8"X8" CONC. LINTEL - REFER TO DETAIL K6 ON SHEET A-501.
  10. PROVIDE/INSTALL NEW 8"X8" CONC. LINTEL & GROUT ABOVE - REFER TO DETAIL G6 ON SHEET A-501.
  11. PROVIDE/INSTALL NEW (2) 4"X8" CONC. LINTEL.
  12. CEILING SHALL BE LEFT EXPOSED & PAINTED.
  13. PROVIDE/POUR CONCRETE FROM ABOVE TO SEAL HOLE IN CEILING.

- GENERAL NOTES:**
1. PAINT EXTERIOR BASEMENT WALLS
  2. INTERIOR EXISTING WALLS TO BE PAINTED BY OWNER, U.N.O.

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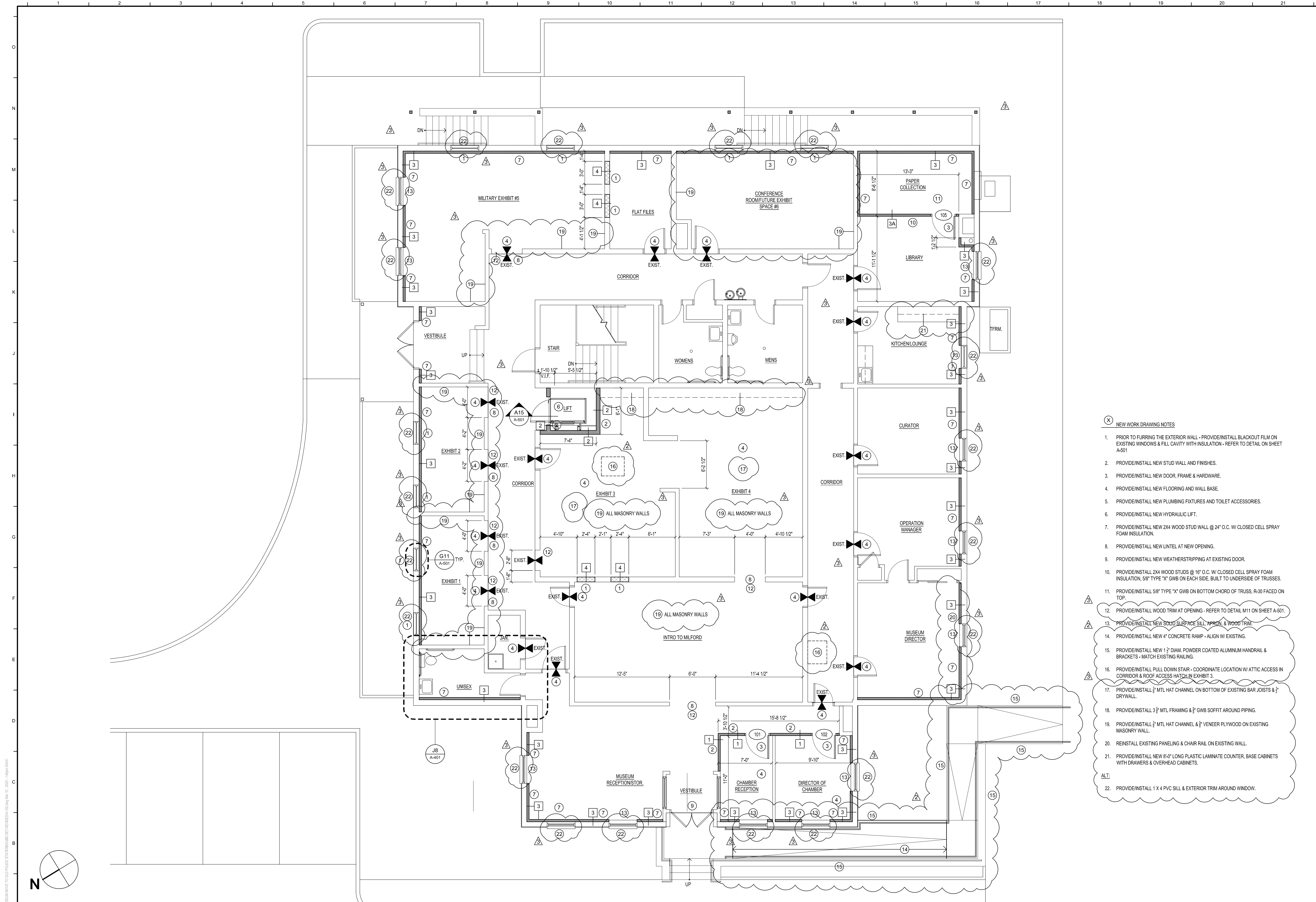
**BASEMENT PLAN - NEW WORK**

Dwg.No.: **A-101**

**A1 BASEMENT PLAN - NEW WORK**

3/16" = 1'-0"





- NEW WORK DRAWING NOTES**
- PRIOR TO FURRING THE EXTERIOR WALL - PROVIDE/INSTALL BLACKOUT FILM ON EXISTING WINDOWS & FILL CAVITY WITH INSULATION - REFER TO DETAIL ON SHEET A-501
  - PROVIDE/INSTALL NEW STUD WALL AND FINISHES.
  - PROVIDE/INSTALL NEW DOOR, FRAME & HARDWARE.
  - PROVIDE/INSTALL NEW FLOORING AND WALL BASE.
  - PROVIDE/INSTALL NEW PLUMBING FIXTURES AND TOILET ACCESSORIES.
  - PROVIDE/INSTALL NEW HYDRAULIC LIFT.
  - PROVIDE/INSTALL NEW 2X4 WOOD STUD WALL @ 24" O.C. W/ CLOSED CELL SPRAY FOAM INSULATION.
  - PROVIDE/INSTALL NEW LINTEL AT NEW OPENING.
  - PROVIDE/INSTALL NEW WEATHERSTRIPPING AT EXISTING DOOR.
  - PROVIDE/INSTALL 2X4 WOOD STUDS @ 16" O.C. W/ CLOSED CELL SPRAY FOAM INSULATION, 5/8" TYPE "X" GWB ON EACH SIDE, BUILT TO UNDERSIDE OF TRUSSES.
  - PROVIDE/INSTALL 5/8" TYPE "X" GWB ON BOTTOM CHORD OF TRUSS, R-30 FACED ON TOP.
  - PROVIDE/INSTALL WOOD TRIM AT OPENING - REFER TO DETAIL M11 ON SHEET A-501.
  - PROVIDE/INSTALL NEW SOLID SURFACE SILL, APRON, & WOOD TRIM.
  - PROVIDE/INSTALL NEW 4" CONCRETE RAMP - ALIGN W/ EXISTING.
  - PROVIDE/INSTALL NEW 1 1/2" DIAM. POWDER COATED ALUMINUM HANDRAIL & BRACKETS - MATCH EXISTING RAILING.
  - PROVIDE/INSTALL PULL DOWN STAIR - COORDINATE LOCATION W/ ATTIC ACCESS IN CORRIDOR & ROOF ACCESS HATCH IN EXHIBIT 3.
  - PROVIDE/INSTALL 3/4" MTL HAT CHANNEL ON BOTTOM OF EXISTING BAR JOISTS & 1/2" DRYWALL.
  - PROVIDE/INSTALL 3 1/2" MTL FRAMING & 3/4" GWB SOFFIT AROUND PIPING.
  - PROVIDE/INSTALL 3/4" MTL HAT CHANNEL & 1/2" FENEER PLYWOOD ON EXISTING MASONRY WALL.
  - REINSTALL EXISTING PANELING & CHAIR RAIL ON EXISTING WALL.
  - PROVIDE/INSTALL NEW 8'-0" LONG PLASTIC LAMINATE COUNTER, BASE CABINETS WITH DRAWERS & OVERHEAD CABINETS.
  - PROVIDE/INSTALL 1 X 4 PVC SILL & EXTERIOR TRIM AROUND WINDOW.

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**FIRST FLOOR  
 PLAN - NEW WORK**

**A1 FIRST FLOOR PLAN - NEW WORK**

3/16" = 1'-0"

Dwg.No.: **A-102**

















