

STATE OF DELAWARE

OMB / DIVISION OF FACILITIES MANAGEMENT

OMB / DFM CONTRACT #MJ0208000003

OLD SUSSEX FAMILY COURT BUILDING

SELECTIVE DEMOLITION PACKAGE

22 THE CIRCLE

GEORGETOWN, DELAWARE



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ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

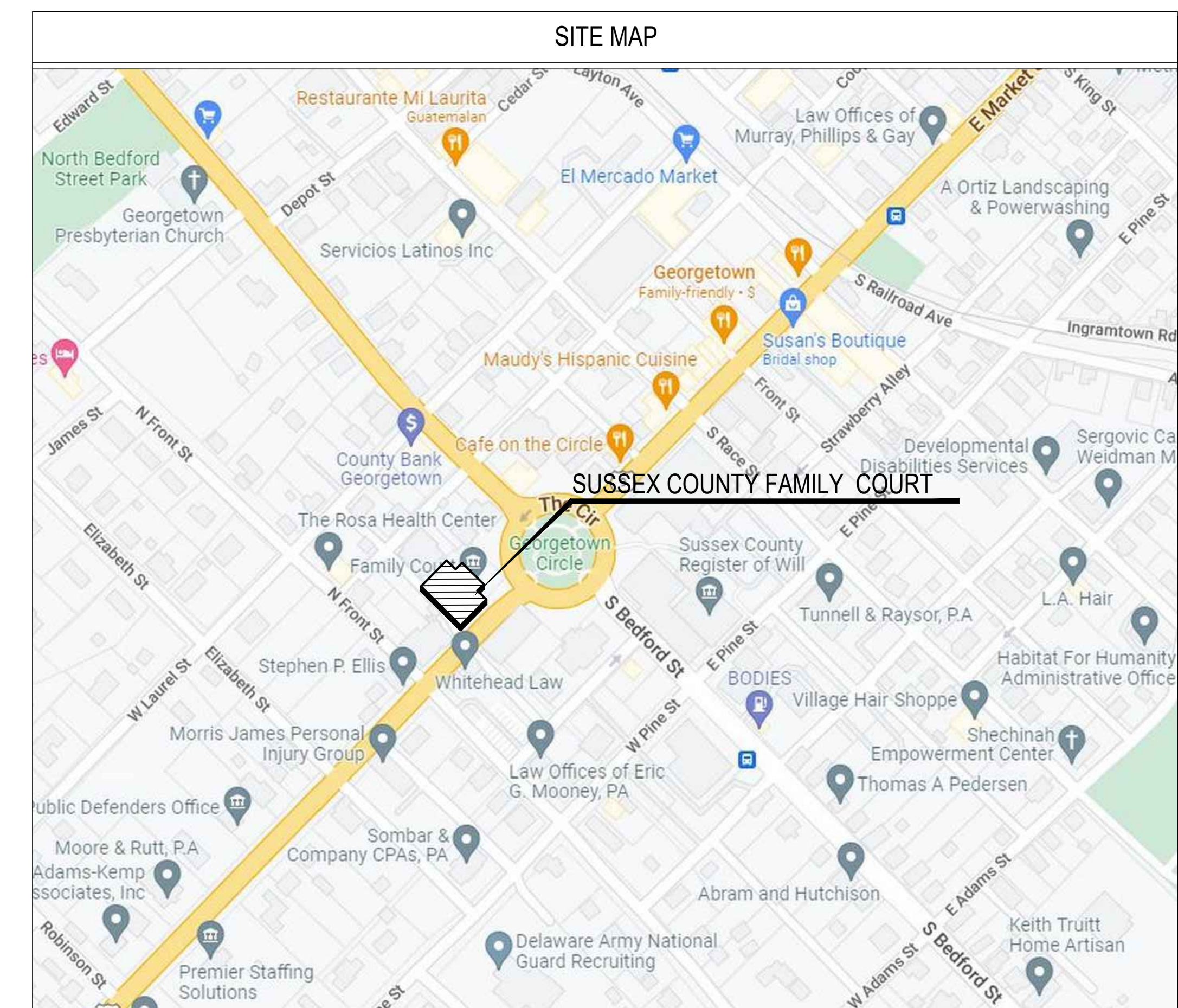
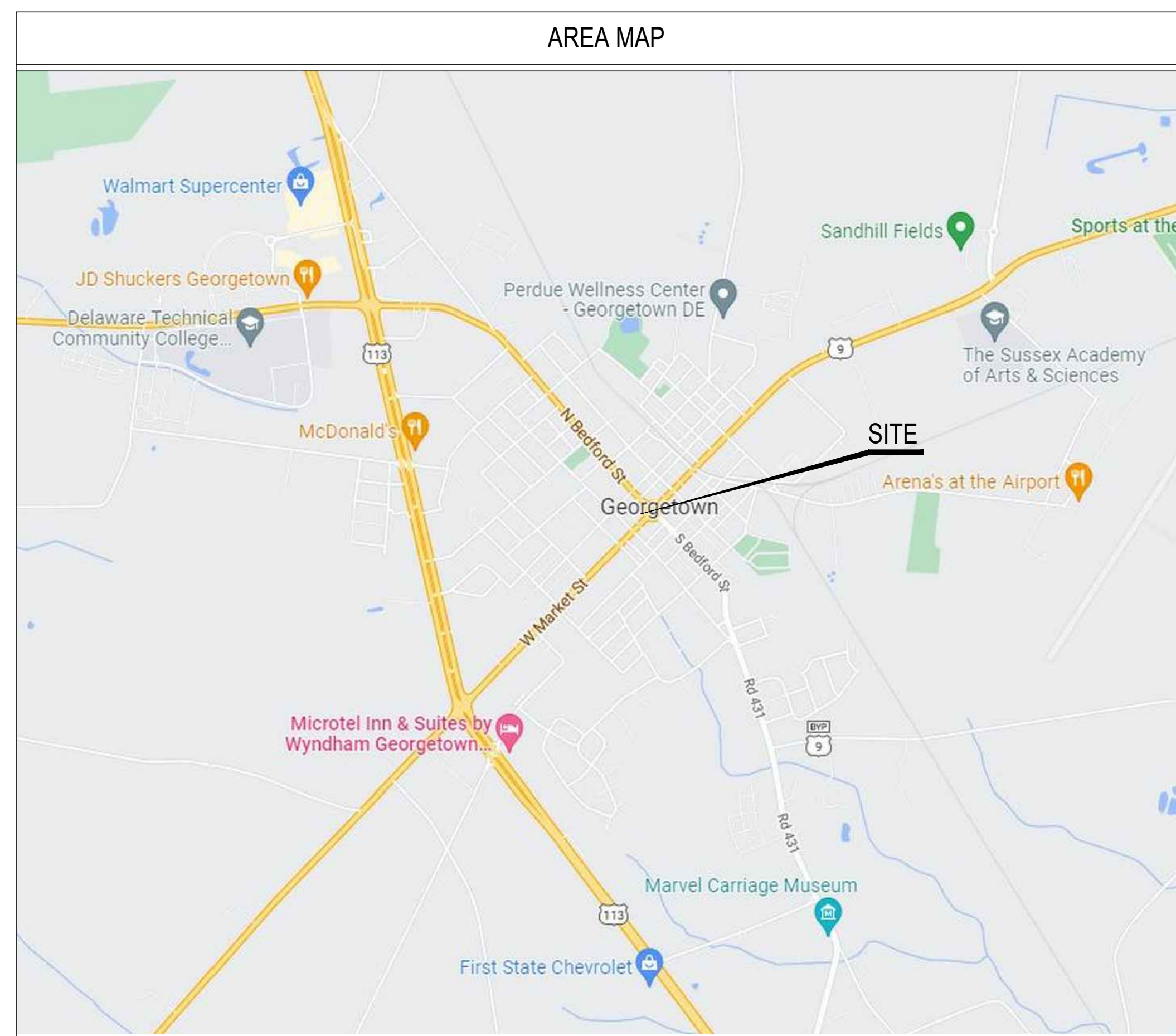
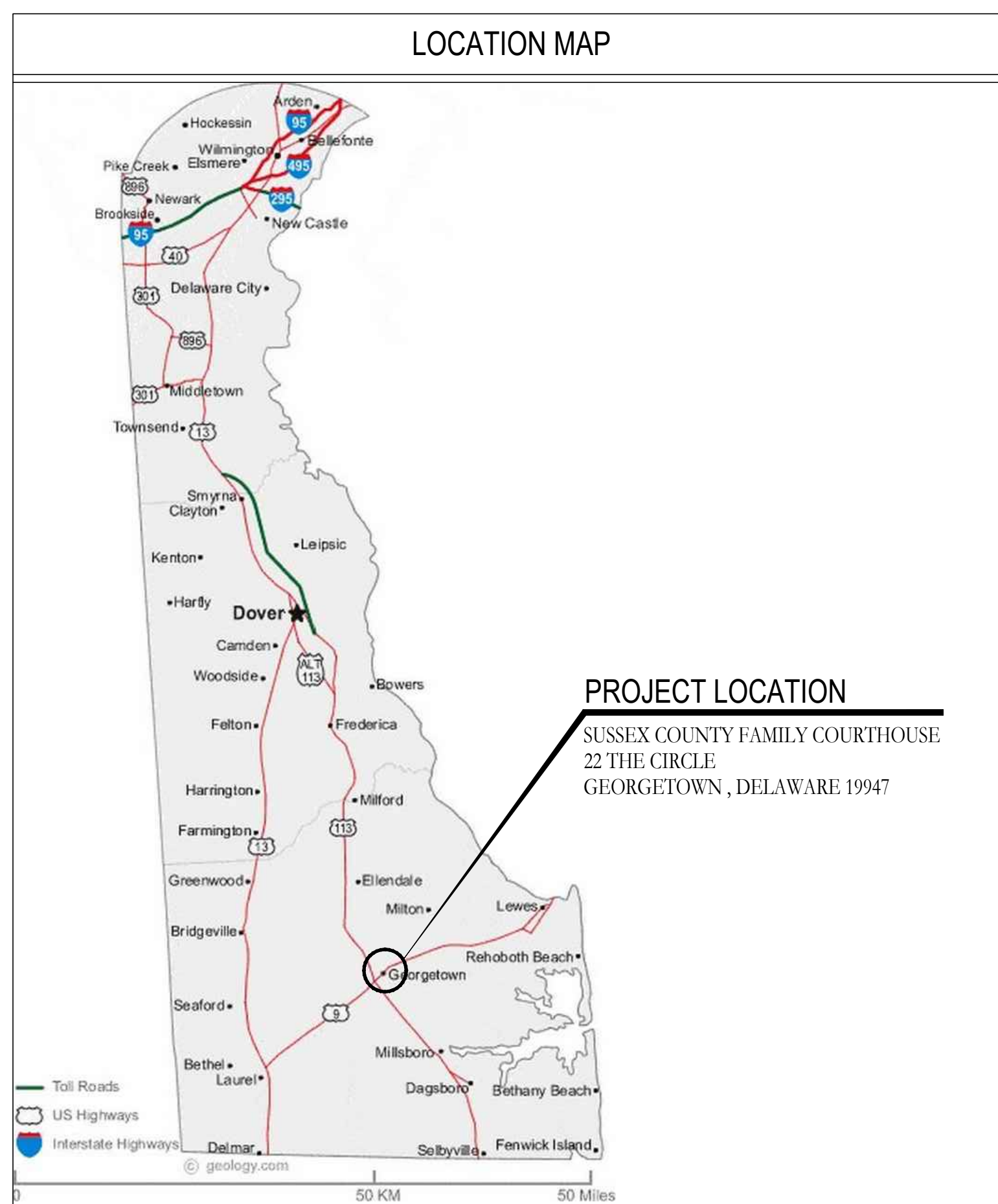
22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

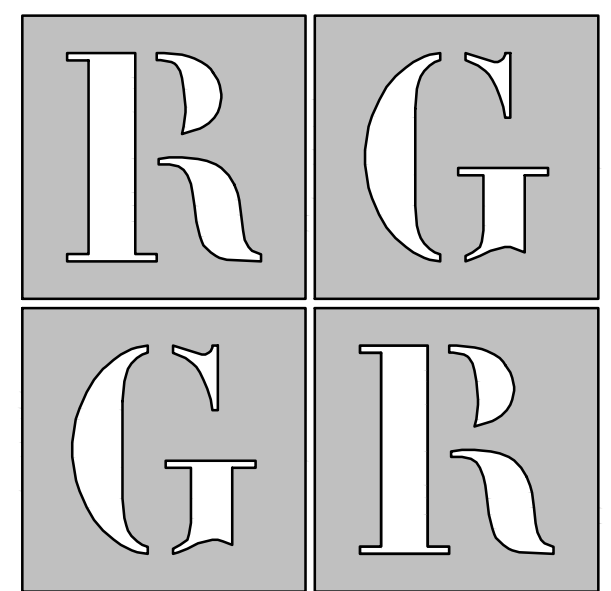
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TITLE SHEET



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0x.3	EXISTING THIRD FLOOR PLAN
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S-2	SECOND FLOOR STEEL FRAMING PLAN
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S-4	SECOND AND THIRD FLOOR FLANK PLAN, DETAILS
S-5	ROOF FRAMING PLAN, ROOF HATCH AND LADDER, ROOF DRAIN PLUMBING



R G ARCHITECTS
R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
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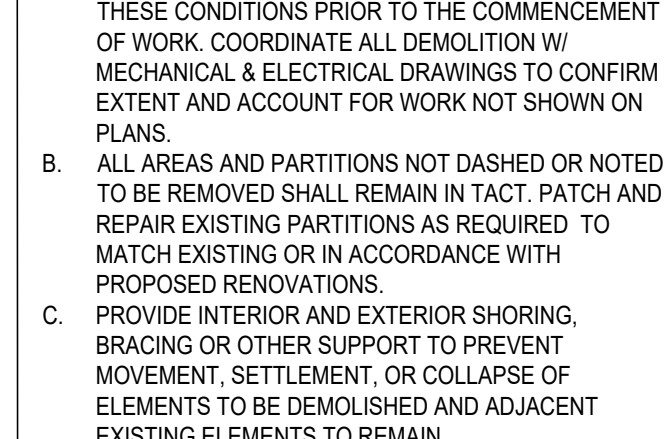
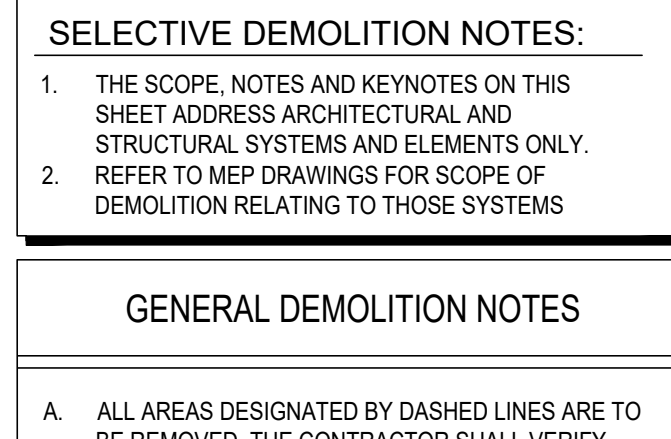
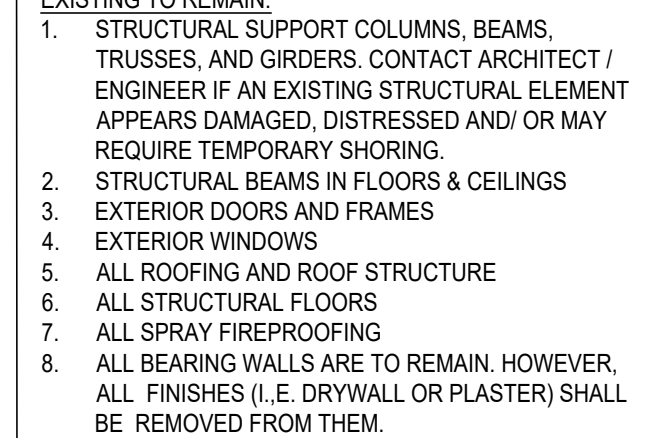
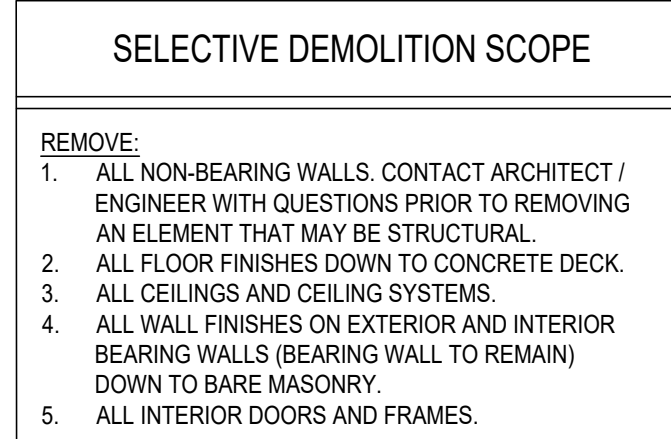
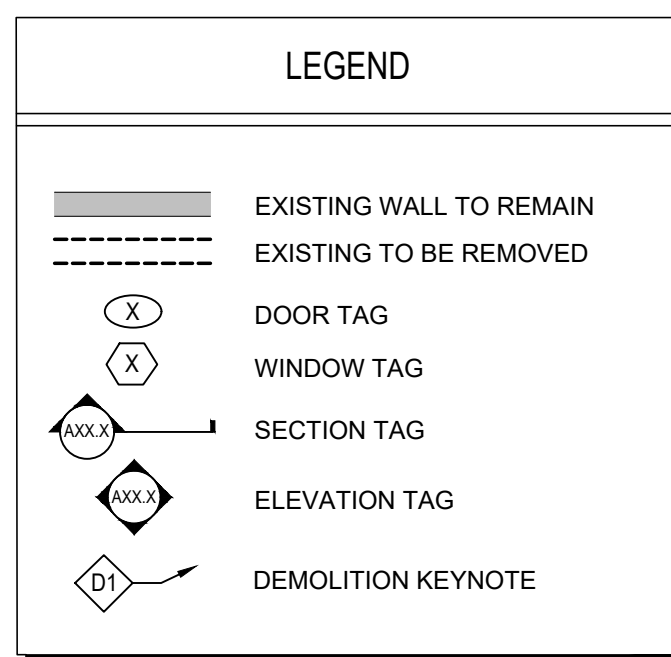
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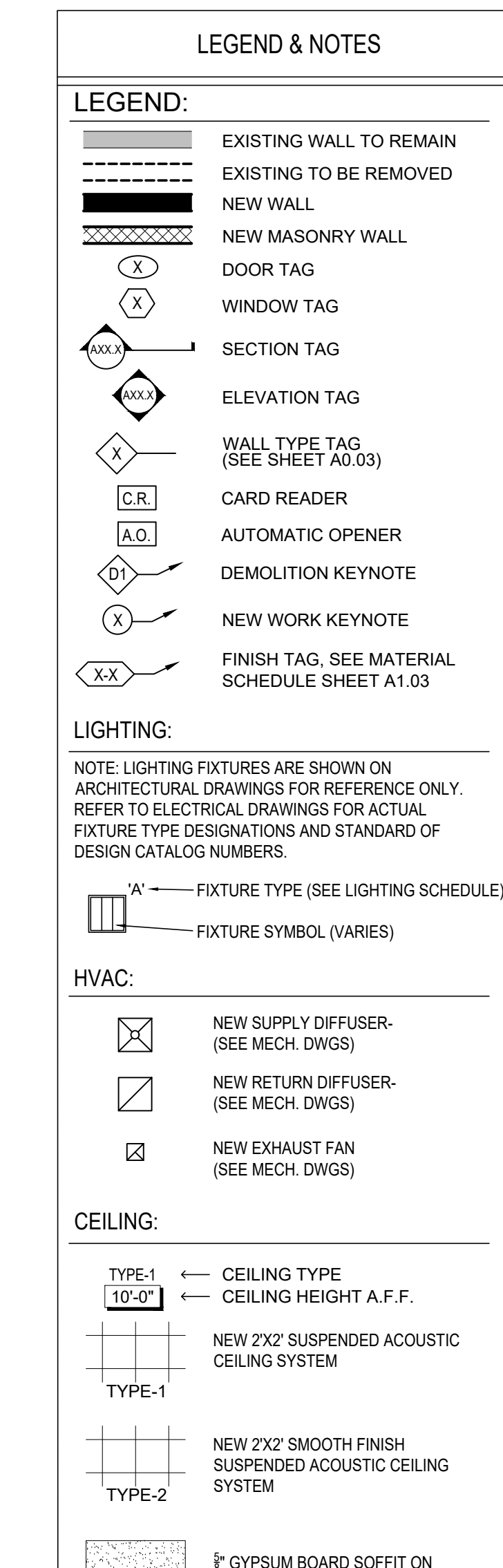
ABBREVIATIONS			
ACT	ACOUSTICAL CEILING TILE	LLH	LONG LEG HORIZONTAL
AFF	ABOVE FINISHED FLOOR	LLV	LONG LEG VERTICAL
ALT	ALTERNATE	LPT	LOW POINT
ALUM	ALUMINUM	LT	LIGHT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MAS	MASONRY
ARCH	ARCHITECTURAL, ARCHITECT	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MDF	MEDIUM-DENSITY FIBREBOARD
BD	BOARD	MECH	MECHANICAL
BL	BASE LINE	MFD	MANUFACTURED
BLDG	BUILDING	MFR	MANUFACTURER
BM	BEAM	MIN	MINIMUM
BOT	BOTTOM	MJ	MOVEMENT JOINT
BRG	BEARING	MO	MASONRY OPENING
BUR	BUILT UP ROOF	MR	MOISTURE RESISTANT
CJ	CONTROL JOINT	MT	METAL THRESHOLD
CL	CENTER LINE	MTD	MOUNTED
CLG	CEILING	MTL	METAL
CLG HT	CEILING HEIGHT	NA	NOT APPLICABLE
CLO	CLOSET	NCOMBL	NON-COMBUSTIBLE
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
CO	CLEANOUT	NTS	NOT TO SCALE
CON	CONNECT	OC	ON CENTER
CONC	CONCRETE	OD	OUTSIDE DIAMETER, OUTSIDE DIMENSION
CONSTR	CONSTRUCTION	OFD	OVERFLOW DRAIN
CONT	CONTINUE	OHDR	OVERHEAD DOOR
CONTR	CONTRACT, CONTRACTOR	OPH	OPPOSITE HAND
COORD	COORDINATE	OPNG	OPENING
CPT	CARPET	OPP	OPPOSITE
CT	CERAMIC TILE	PLAM	PLASTIC LAMINATE
CTR	CENTER	PLAS	PLASTIC
D	DEEP, DEPTH	PLYWD	PLYWOOD
DBL	DOUBLE	POL	POLISHED
DEC	DETENTION EQUIPMENT CONTRACTOR	PR	PAIR
DEMO	DEMOLITION, DEMOLISH	PREFIN	PREFINISHED
DET	DETAIL	PROJ	PROJECT, PROJECTED
DF	DRINKING FOUNTAIN	PSF	POUNDS PER SQUARE FOOT
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DIAG	DIAGONAL	PT	PAINT, PAINTED, PRESSURE TREATED
DIM	DIMENSION	PTN	PARTITION
DR	DOOR	PVC	POLY-VINYL CHLORIDE THERMOPLASTIC
DWG	DRAWING	QT	QUARRY TILE
EA	EACH	R	RADIUS
EIFS	EXTERIOR INSULATION FINISH SYSTEM	RCP	REFLECTED CEILING PLAN
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EL	ELEVATION	REF	REFERENCE, REFRIGERATOR
ELEC	ELECTRIC, ELECTRICAL	REIN	REINFORCING
ELEV	ELEVATOR	RENOV	RENOVATION
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	REQD	REQUIRED
EQ	EQUAL	REV	REVERSE, REVISED, REVISION
EQUIP	EQUIPMENT	RHR	RIGHT HAND REVERSE
EW	EACH WAY	RL	ROOF LADDER
EWC	ELECTRIC WATER COOLER	RM	ROOM
EXIST	EXISTING	RO	ROUGH OPENING
EX	EXISTING	RTU	ROOF TOP UNIT
EXP	EXPANSION, EXPOSED	RWC	RAIN WATER CONDUCTOR
EXT	EXTERIOR	RWL	RAIN WATER LEADER
FD	FLOOR DRAIN	SCHED	SCHEDULE
FDTN	FOUNDATION	SECT	SECTION
FE	FIRE EXTINGUISHER	SF	SQUARE FOOT / FEET
FEC	FIRE EXTINGUISHER CABINET	SGL	SINGLE
FF EL	FINISHED FLOOR ELEVATION	SHT	SHEET
FHC	FIRE HOSE CABINET	SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATION
FIN FLR	FINISH FLOOR	SST	STAINLESS STEEL
FLR	FLOOR, FILLER	STD	STANDARD
FR	FIRE RATING, FIRE RESISTANT, FRAME	STL	STEEL
FRP	FIBER REINFORCED PLASTIC / POLYESTER	STRUC	STRUCTURAL
FT	FOOT, FEET	SUSP	SUSPENDED
FTG	FOOTER, FOOTING	SYMM	SYMMETRICAL
GA	GAUGE	SYS	SYSTEM
GALV	GALVANIZED	TEMP	TEMPORARY
GC	GENERAL CONTRACTOR	TER	TERRAZZO
GYP BD	GYPSON BOARD	THK	THICK, THICKNESS
HC	HANDICAP	THRES	THRESHOLD
HCP	HANDICAPPED	TJ	TOP OF JOIST
HDPE	HIGH DENSITY POLYETHYLENE	TOM	TOP OF MASONRY
HDW	HARDWARE	TOS	TOP OF STEEL
HM	HOLLOW METAL	TOW	TOP OF WALL
HORIZ	HORIZONTAL	TPO	THERMOPLASTIC POLYOLEFIN
HT	HEIGHT	TP	TYPICAL
HVAC	HEATING VENTILATING, AND AIR CONDITIONING	UL	UNDERWRITERS LABORATORIES
IBC	INTERNATIONAL BUILDING CODE	UNO	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	UTIL	UTILITY
INSUL	INSULATION	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	VERT	VERTICAL
JAN	JANITOR	VEST	VESTIBULE
L	ANGLE	VIF	VERIFY IN FIELD
LAM	LAMINATE	VTR	VENT THROUGH ROOF
LAV	LAVATORY	W	WIDE, WIDTH
LF	LINEAR FOOT	WI	WITH
LH	LEFT HAND	WD	WOOD
LHR	LEFT HAND REVERSE	WDW	WINDOW
		WP	WORKING POINT
		WSCT	WAINSCOT
		WT	WEIGHT

SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILINGS WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
C2	REMOVE EXISTING WALLBOARD CEILING ASSEMBLY IN ITS ENTIRETY, INCLUDING ANY CEILINGS WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
D1	REMOVE EXISTING INTERIOR DOOR, FRAME & HARDWARE, INCLUDING ANY LOW-VOLTAGE CABLING, IN ITS ENTIRETY
D2	REMOVE EXISTING INTERIOR WINDOW & FRAME IN ITS ENTIRETY
D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
R4	UPON REMOVAL OF ROOFTOP EQUIPMENT AS DIRECTED BY MEP DRAWINGS, ENCLOSE EXISTING ROOF OPENING PER DETAIL
S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
S3	REMOVE PORTION (SHADED) OF EXISTING COMPOSITE CONCRETE DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
W1	REMOVE EXISTING INTERIOR STUD WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
W2	
W3	REMOVE EXISTING WALL FINISH, INCLUDING FURRING, BLOCKING, WIRING, ETC TO EXPOSE THE EXISTING STEEL COLUMN AND OR MASONRY WALL TO REMAIN
W4	EXTERIOR WALLS (STUD) REMOVE EXISTING INTERIOR WALL FINISH TO EXPOSE THE EXISTING EXTERIOR STUDS (TO REMAIN) & INSULATION (TO REMAIN)
W5	EXTERIOR WALLS (MASONRY) REMOVE EXISTING INTERIOR WALL FINISHES TO EXPOSE THE EXISTING CMU (TO REMAIN), INCLUDING WALL BASE & ANY MOULDINGS, TRIMS, ETC.



GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE APPLICABLE CODES AND ORDINANCES OF THE LOCAL JURISDICTION, THE COUNTY, THE STATE, AND THE CURRENT ADOPTED VERSION OF THE INTERNATIONAL BUILDING CODE FAMILY. THE CONTRACTOR SHALL POST NOTICES AND COMPLY WITH GOVERNING LAWS OF THE JURISDICTION.
- THE WORK SHALL BE PROPERLY SUPERVISED BY THE CONTRACTOR'S SUPERINTENDENT. SUFFICIENT PERSONNEL SHALL BE SKILLED IN THE TASK ASSIGNED.
- THE CONTRACTOR SHALL, AT ALL TIMES MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD ALL PERSONS ENGAGED IN THE PERFORMANCE OF THE WORK.
- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- THE PROJECT ARCHITECT SHALL BE NOTIFIED SHOULD ANY DISCREPANCY OR QUESTIONS ARISE PERTAINING TO THESE DRAWINGS. NO CHANGE SHALL BE MADE WITHOUT REVIEW BY THE ARCHITECT.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT PRIOR TO THE EXECUTION OF THE WORK. RE-CHECK ALL DIMENSIONS PRIOR TO ORDERING MANUFACTURED AND/OR FABRICATED ITEMS.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS PURCHASED FOR THIS PROJECT AND STORED IN THE OWNER'S DESIGNATED AREA. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ON PREFERRED LOCATIONS FOR STORED MATERIALS.
- THE CONTRACTOR SHALL MAINTAIN AREAS UNDER THE CONTRACTORS CONTROL TO BE FREE OF WASTE MATERIALS, DEBRIS AND RUBBISH. CONTAINERS FOR DEPOSIT OF DEBRIS AND RUBBISH SHALL BE PROVIDED BY THE CONTRACTOR. COORDINATE LOCATION WITH THE OWNER PRIOR TO PLACEMENT. EXTRANEOUS MATERIALS SHALL BE PERIODICALLY REMOVED, AND AT THE CONCLUSION OF THE PROJECT.
- ALL AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR STATE PRIOR TO THE START OF CONSTRUCTION
- INDIVIDUAL CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL FIRE-RATING/FIRESTOPPING MATERIALS AT ALL THROUGH-WALL AND THROUGH-CEILING PENETRATIONS AS REQUIRED FOR THE CONSTRUCTION WORK OF THEIR INDIVIDUAL CONTRACT.



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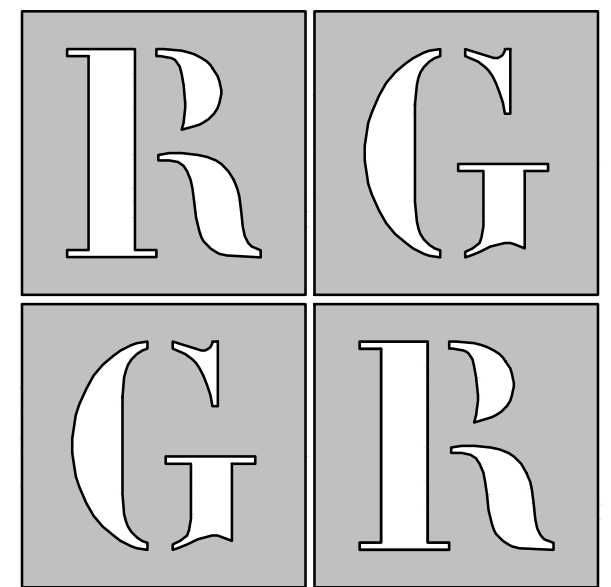
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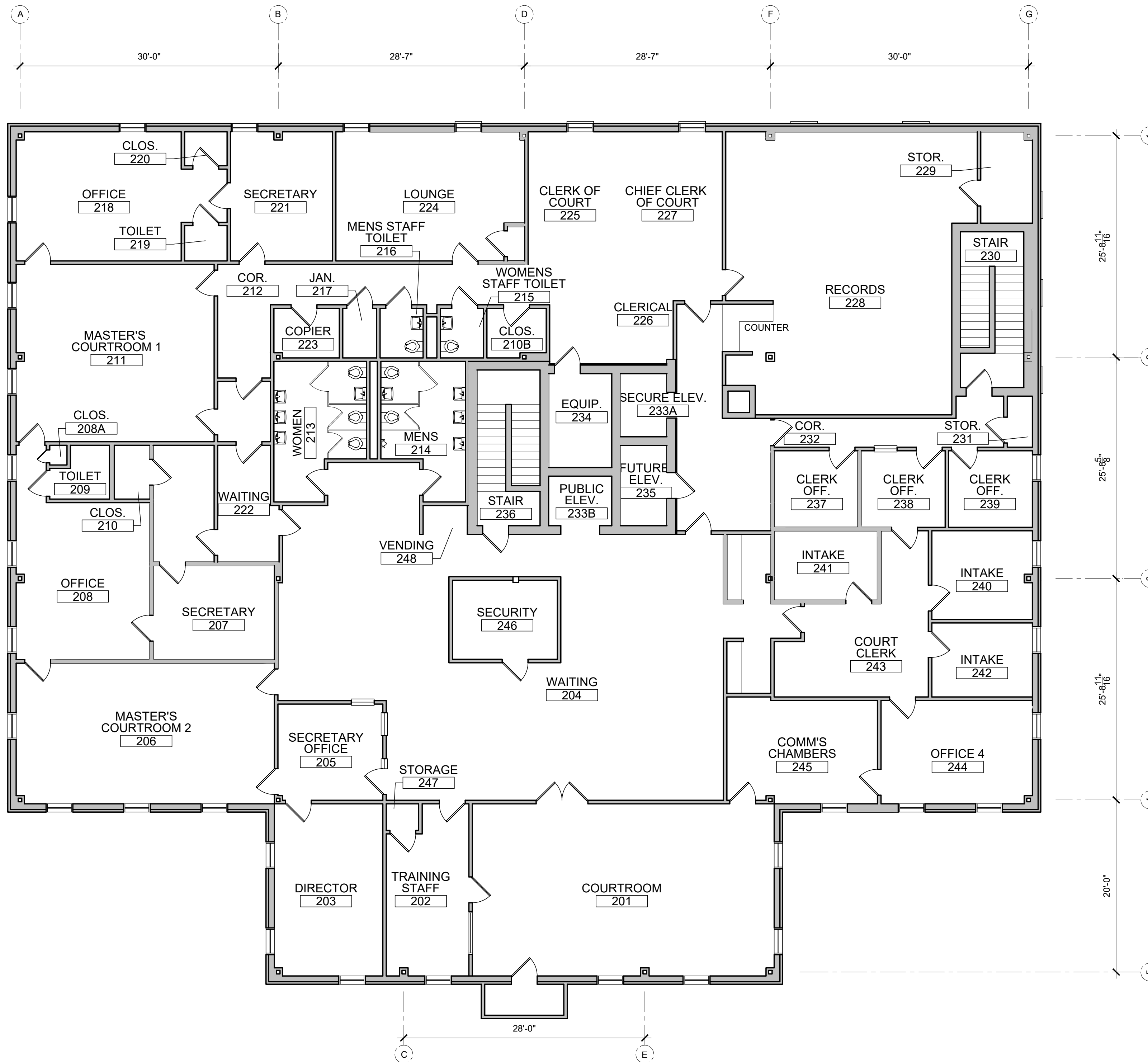
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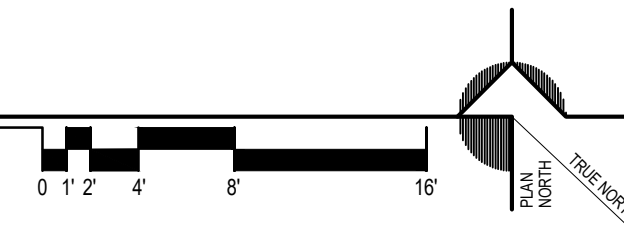
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EXISTING SECOND FLOOR PLAN

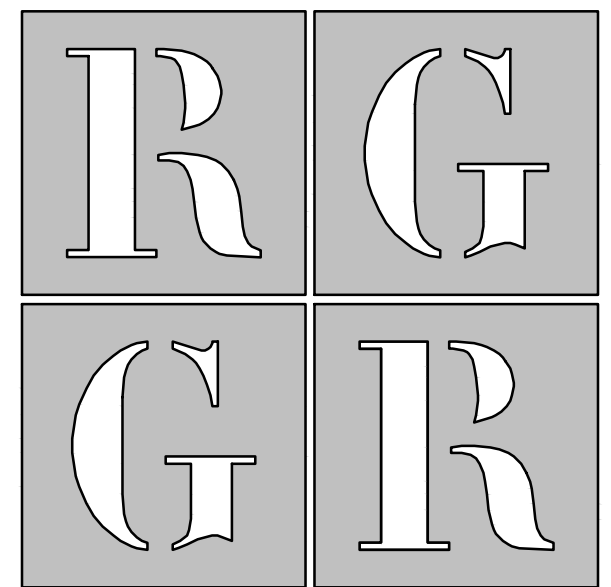


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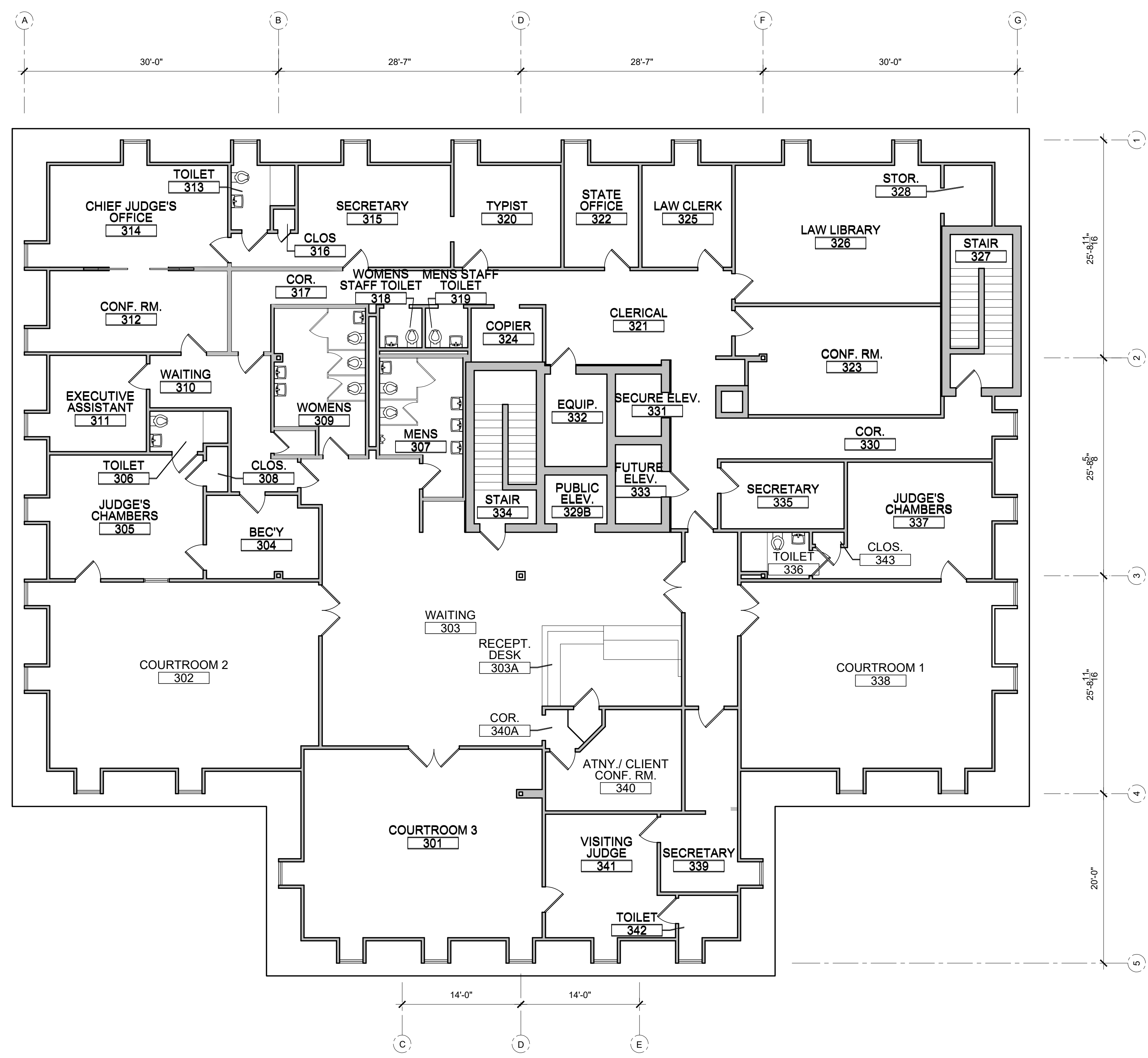
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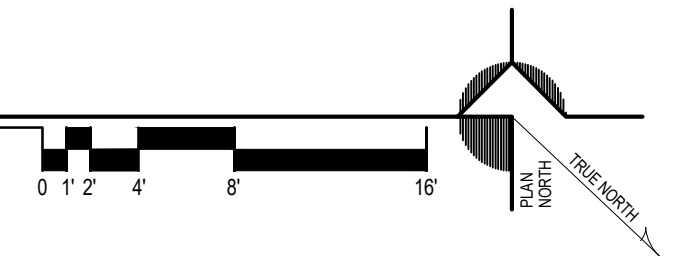
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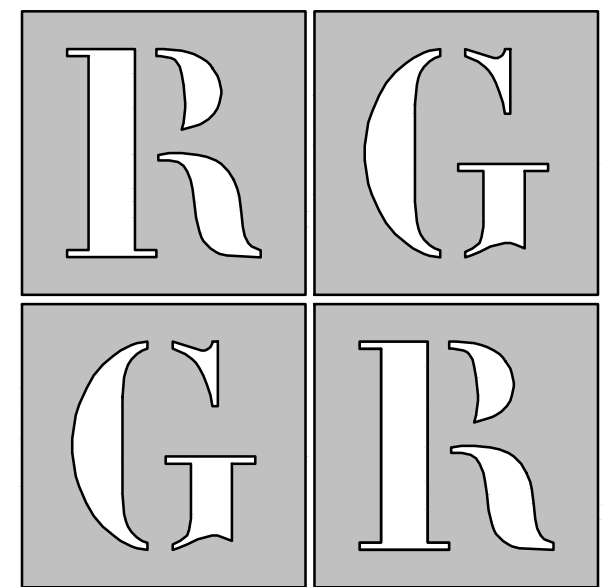


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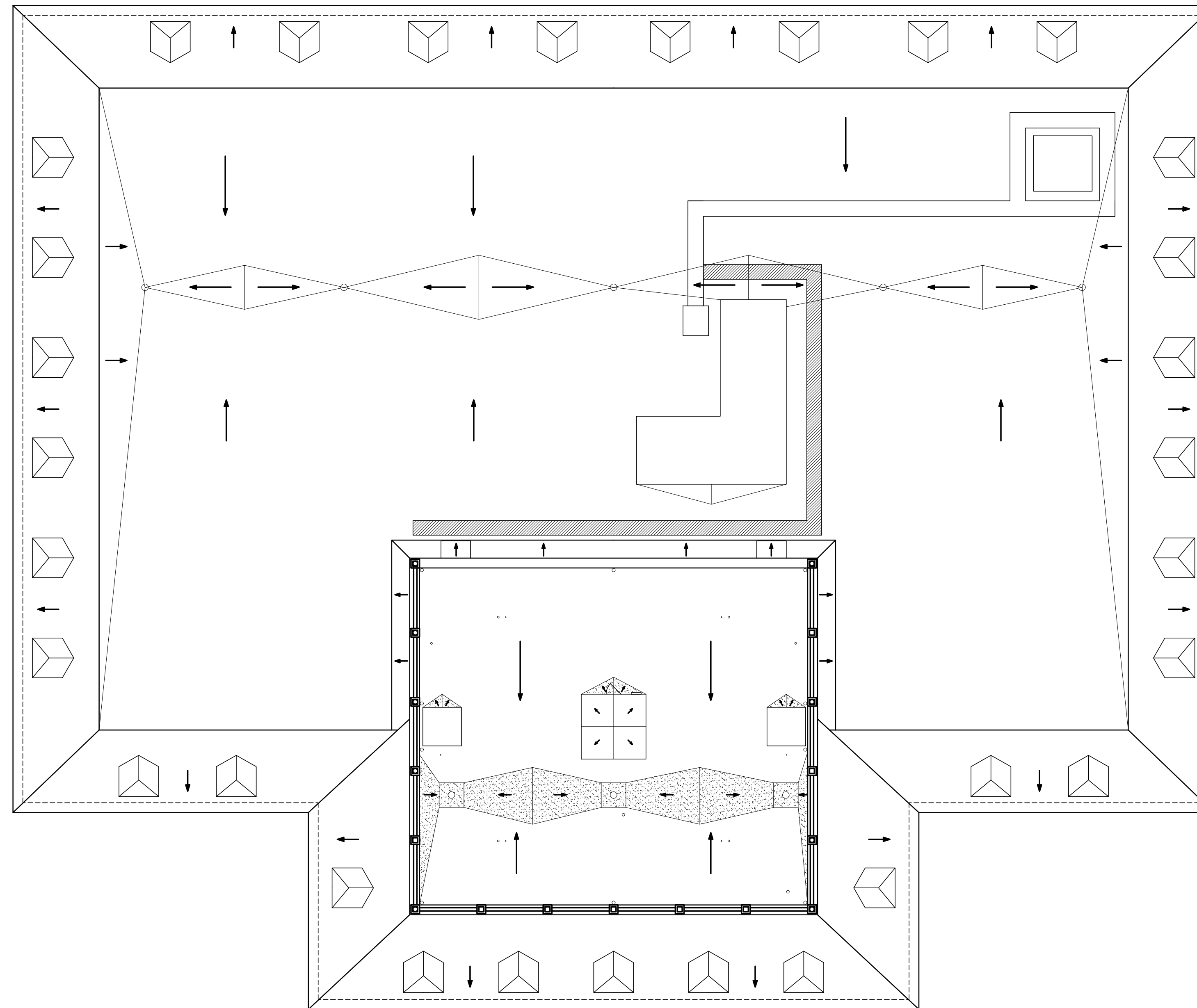
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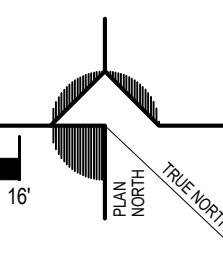
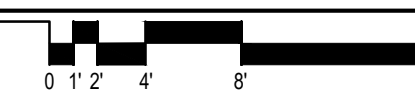
PROJECT NO: 25022
 DRAWN BY: RAG
 CHECKED BY: RAG
 SCALE: 1/8" = 1'-0"
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

**EXISTING
 ROOF PLAN**

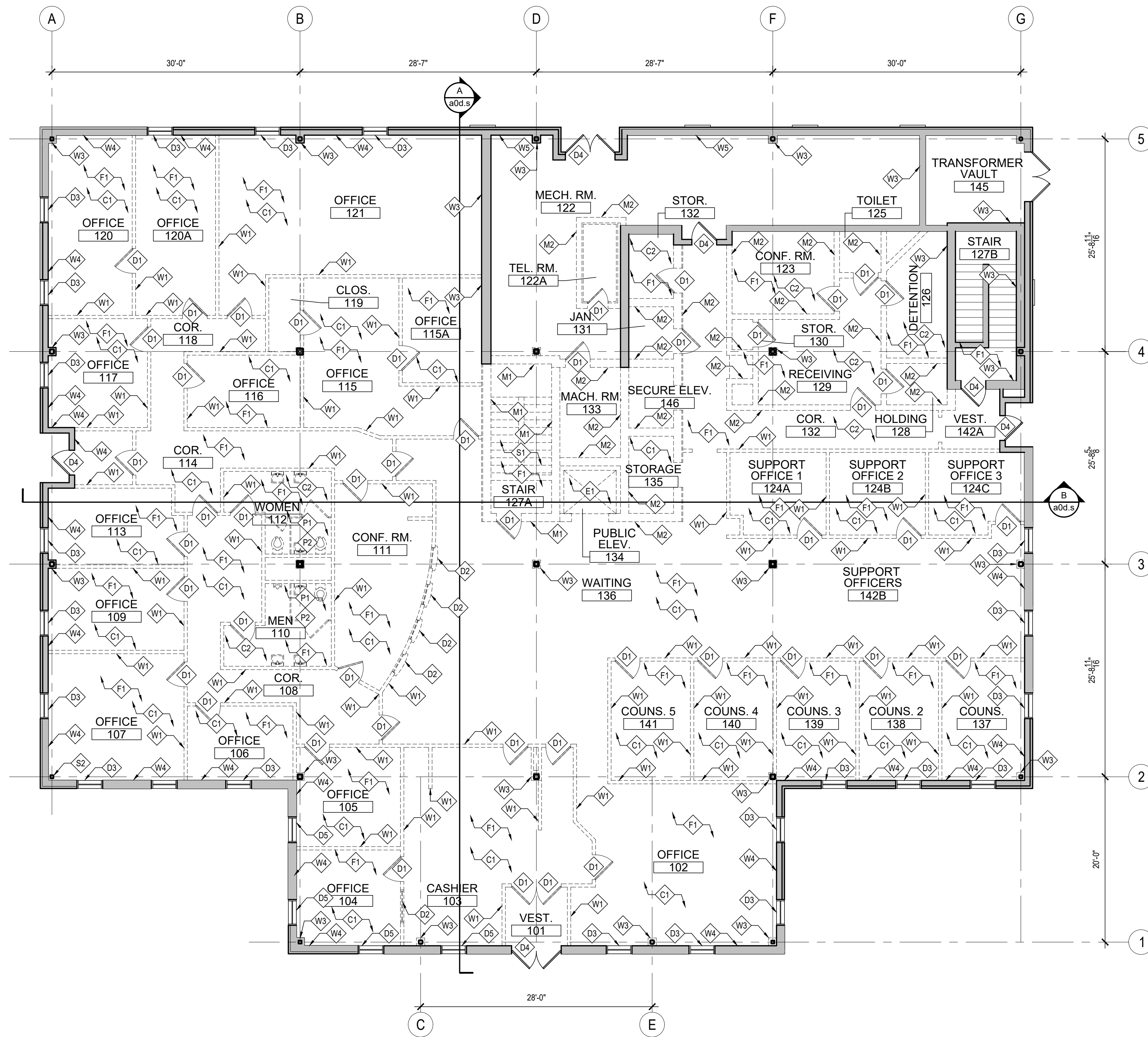


XR EXISTING ROOF PLAN
 SCALE - 1/8" = 1'-0"

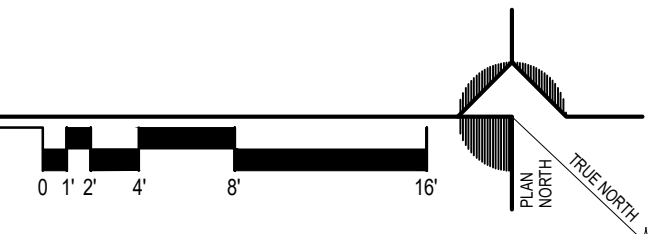


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OX.R



1 DEMOLITION PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"



SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
C2	REMOVE EXISTING WALLBOARD CEILING ASSEMBLY IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
D1	REMOVE EXISTING INTERIOR DOOR, FRAME & HARDWARE, INCLUDING ANY LOW-VOLTAGE CABLING, IN ITS ENTIRETY
D2	REMOVE EXISTING INTERIOR WINDOW & FRAME IN ITS ENTIRETY
D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
R4	UPON REMOVAL OF ROOF-TOP EQUIPMENT AS DIRECTED BY MEP DRAWINGS, ENCLOSE EXISTING ROOF OPENING PER DETAIL
S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
S3	REMOVE PORTION (SHADED) OF EXISTING COMPOSITE CONCRETE DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
W1	REMOVE EXISTING INTERIOR STUD WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
W2	
W3	REMOVE EXISTING WALL FINISH, INCLUDING FURRING, BLOCKING, WIRING, ETC TO EXPOSE THE EXISTING STEEL COLUMN AND OR MASONRY WALL TO REMAIN
W4	EXTERIOR WALLS (STUD) REMOVE EXISTING INTERIOR WALL FINISH TO EXPOSE THE EXISTING EXTERIOR STUDS (TO REMAIN) & INSULATION (TO REMAIN)
W5	EXTERIOR WALLS (MASONRY) REMOVE EXISTING INTERIOR WALL FINISHES TO EXPOSE THE EXISTING CMU (TO REMAIN), INCLUDING WALL BASE & ANY MOULDINGS, TRIMS, ETC.

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	DOOR TAG
	WINDOW TAG
	SECTION TAG
	ELEVATION TAG
	DEMOLITION KEYNOTE

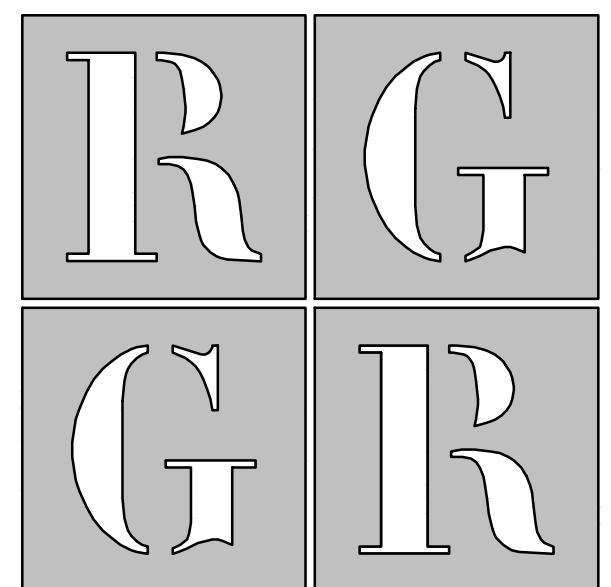
SELECTIVE DEMOLITION SCOPE	
REMOVE:	<ol style="list-style-type: none"> ALL NON-BEARING WALLS. CONTACT ARCHITECT / ENGINEER WITH QUESTIONS PRIOR TO REMOVING AN ELEMENT THAT MAY BE STRUCTURAL. ALL FLOOR FINISHES DOWN TO CONCRETE DECK. ALL CEILING AND CEILING SYSTEMS. ALL WALL FINISHES ON EXTERIOR AND INTERIOR BEARING WALLS (BEARING WALL TO REMAIN) DOWN TO BARE MASONRY. ALL INTERIOR DOORS AND FRAMES.
EXISTING TO REMAIN:	<ol style="list-style-type: none"> STRUCTURAL SUPPORT COLUMNS, BEAMS, TRUSSES AND GIRDERS. CONTACT ARCHITECT / ENGINEER IF AN EXISTING STRUCTURAL ELEMENT APPEARS DAMAGED, DISTRESSED AND/OR MAY REQUIRE TEMPORARY SHORING. STRUCTURAL BEAMS IN FLOORS & CEILINGS EXTERIOR DOORS AND FRAMES EXTERIOR WINDOWS ALL ROOFING AND ROOF STRUCTURE ALL STRUCTURAL FLOORS ALL BEARING WALLS ARE TO REMAIN, HOWEVER, ALL FINISHES (I.E. DRYWALL OR PLASTER) SHALL BE REMOVED FROM THEM.

SELECTIVE DEMOLITION NOTES:	
1.	THE SCOPE, NOTES AND KEYNOTES ON THIS SHEET ADDRESS ARCHITECTURAL AND STRUCTURAL SYSTEMS AND ELEMENTS ONLY.
2.	REFER TO MEP DRAWINGS FOR SCOPE OF DEMOLITION RELATING TO THOSE SYSTEMS

GENERAL DEMOLITION NOTES	
A.	ALL AREAS DESIGNATED BY DASHED LINES ARE TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE ALL DEMOLITION W/ MECHANICAL & ELECTRICAL DRAWINGS TO CONFIRM EXISTENT AND ACCOUNT FOR WORK NOT SHOWN ON PLANS.
B.	ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL REMAIN IN TACT. PATCH AND REPAIR EXISTING PARTITIONS AS REQUIRED TO MATCH EXISTING OR IN ACCORDANCE WITH PROPOSED RENOVATIONS.
C.	PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT EXISTING ELEMENTS TO REMAIN.
D.	PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
E.	LOCATE AND IDENTIFY EXISTING UTILITIES, INCLUDING SANITARY SEWER SYSTEM, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
F.	DEMOLISH CONCRETE AND MASONRY WALLS IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES WITH OTHER ELEMENTS TO REMAIN BY USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS.
G.	DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
H.	GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER DISCARDED MATERIALS AND/OR EQUIPMENT RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE AS STIPULATED IN THE PROJECT MANUAL ON A DAILY BASIS.
I.	IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
J.	BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.
K.	COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED WITH OWNER. CONTRACTOR SHALL SCHEDULE WORK, SO AS NOT TO UNDULY INTERFERE WITH OWNERS OPERATIONS.
L.	ALL EXISTING EXTERIOR DOORS AND WINDOWS ARE TO REMAIN U.N.O.
M.	ALL CEILING AT ALL LEVELS ARE TO BE DEMOLISHED WHETHER THEY ARE SHOWN ON THE PLANS OR NOT.

NOTES:	
1.	ALL CABINETRY, CASEWORK AND WORKSURFACES THROUGHOUT BUILDING SHALL BE REMOVED.

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ARCHITECTS
R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100



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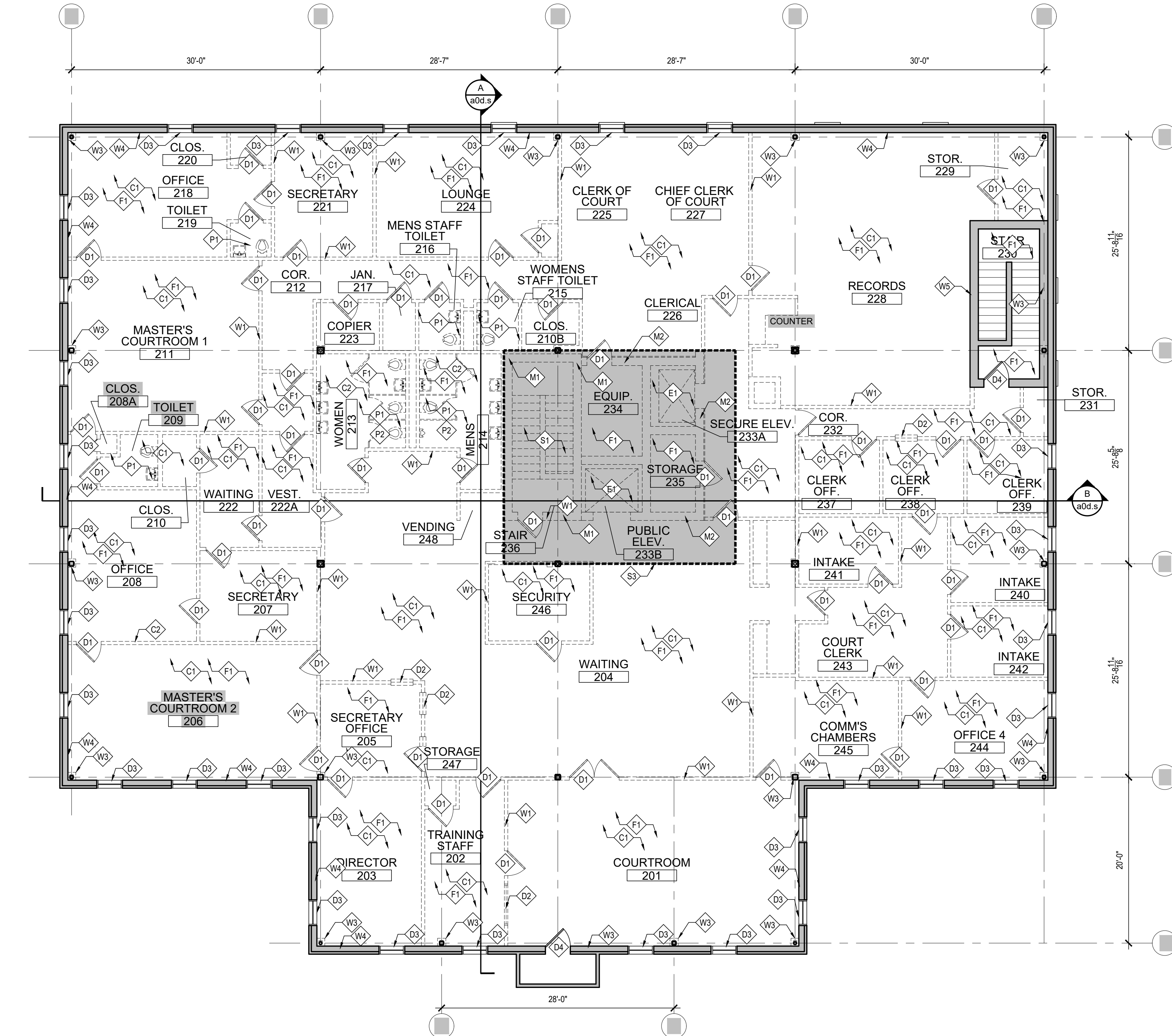
ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse -
Interior Renovations
Bid Package #1
Selective Demolition

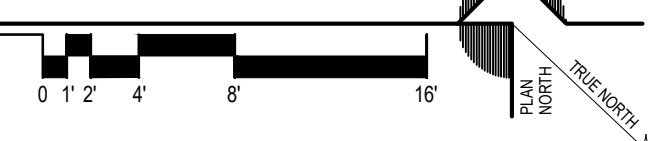
22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19-08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

TITLE & NO.:
DEMOLITION
PLAN:
FIRST FLOOR



2 DEMOLITION PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"



SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
C2	REMOVE EXISTING WALLBOARD CEILING ASSEMBLY IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
D1	REMOVE EXISTING INTERIOR DOOR, FRAME & HARDWARE, INCLUDING ANY LOW-VOLTAGE CABLING, IN ITS ENTIRETY
D2	REMOVE EXISTING INTERIOR WINDOW & FRAME IN ITS ENTIRETY
D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
R4	UPON REMOVAL OF ROOFTOP EQUIPMENT AS DIRECTED BY MEP DRAWINGS, ENCLOSE EXISTING ROOF OPENING PER DETAIL
S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
S3	REMOVE PORTION (SHADED) OF EXISTING COMPOSITE CONCRETE DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
W1	REMOVE EXISTING INTERIOR STUD WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
W2	
W3	REMOVE EXISTING WALL FINISH, INCLUDING FURRING, BLOCKING, WIRING, ETC TO EXPOSE THE EXISTING STEEL COLUMN AND OR MASONRY WALL TO REMAIN
W4	REMOVE EXISTING INTERIOR WALL FINISH TO EXPOSE THE EXISTING EXTERIOR STUDS (TO REMAIN) & INSULATION (TO REMAIN)
W5	EXTERIOR WALLS (MASONRY) REMOVE EXISTING INTERIOR WALL FINISHES TO EXPOSE THE EXISTING CMU (TO REMAIN), INCLUDING WALL BASE & ANY MOULDINGS, TRIMS, ETC.

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	DOOR TAG
	WINDOW TAG
	SECTION TAG
	ELEVATION TAG
	DEMOLITION KEYNOTE

SELECTIVE DEMOLITION SCOPE

- REMOVE:
- ALL NON-BEARING WALLS. CONTACT ARCHITECT / ENGINEER WITH QUESTIONS PRIOR TO REMOVING AN ELEMENT THAT MAY BE STRUCTURAL.
 - ALL FLOOR FINISHES DOWN TO CONCRETE DECK.
 - ALL CEILINGS AND CEILING SYSTEMS
 - ALL WALL FINISHES ON EXTERIOR AND INTERIOR BEARING WALLS (BEARING WALL TO REMAIN) DOWN TO BARE MASONRY.
 - ALL INTERIOR DOORS AND FRAMES.
- EXISTING TO REMAIN:
- STRUCTURAL SUPPORT COLUMNS, BEAMS, TRUSSES, AND GIRDERS. CONTACT ARCHITECT / ENGINEER IF AN EXISTING STRUCTURAL ELEMENT APPEARS DAMAGED, DISTRESSED AND/OR MAY REQUIRE TEMPORARY SHORING.
 - STRUCTURAL BEAMS IN FLOORS & CEILINGS
 - EXTERIOR DOORS AND FRAMES
 - EXTERIOR WINDOWS
 - ALL ROOFING AND ROOF STRUCTURE
 - ALL STRUCTURAL FLOORS
 - ALL SPRAY FIREPROOFING
 - ALL BEARING WALLS ARE TO REMAIN. HOWEVER, ALL FINISHES (I.E. DRYWALL OR PLASTER) SHALL BE REMOVED FROM THEM.

SELECTIVE DEMOLITION NOTES:

- THE SCOPE, NOTES AND KEYNOTES ON THIS SHEET ADDRESS ARCHITECTURAL AND STRUCTURAL SYSTEMS AND ELEMENTS ONLY.
- REFER TO MEP DRAWINGS FOR SCOPE OF DEMOLITION RELATING TO THOSE SYSTEMS

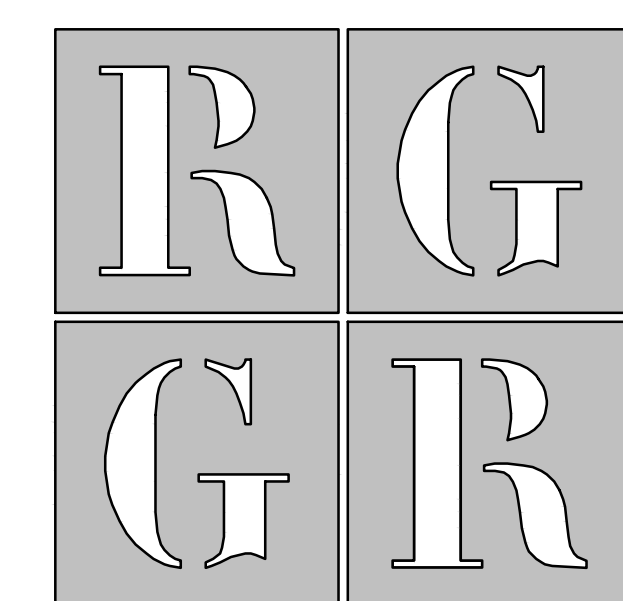
GENERAL DEMOLITION NOTES

- ALL AREAS DESIGNATED BY DASHED LINES ARE TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE ALL DEMOLITION WITH MECHANICAL & ELECTRICAL DRAWINGS TO CONFIRM EXISTENT AND ACCOUNT FOR WORK NOT SHOWN ON PLANS.
- ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL REMAIN IN TACT. PATCH AND REPAIR EXISTING PARTITIONS AS REQUIRED TO MATCH EXISTING OR IN ACCORDANCE WITH PROPOSED RENOVATIONS.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT EXISTING ELEMENTS TO REMAIN.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
- LOCATE AND IDENTIFY EXISTING UTILITIES, INCLUDING SANITARY SEWER SYSTEM, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
- DEMOLISH CONCRETE AND MASONRY WALLS IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES WITH OTHER ELEMENTS TO REMAIN BY USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS. DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER DISCARDED MATERIALS AND/OR EQUIPMENT RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE AS STIPULATED IN THE PROJECT MANUAL ON A DAILY BASIS.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.
- COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED WITH OWNER. CONTRACTOR SHALL SCHEDULE WORK SO AS NOT TO UNDULY INTERFERE WITH OWNER'S OPERATIONS.
- ALL EXISTING EXTERIOR DOORS AND WINDOWS ARE TO REMAIN U.O.
- ALL CEILINGS AT ALL LEVELS ARE TO BE DEMOLISHED WHETHER THEY ARE SHOWN ON THE PLANS OR NOT.

NOTES:

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ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse -
Interior Renovations
Bid Package #1
Selective Demolition
22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19-08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

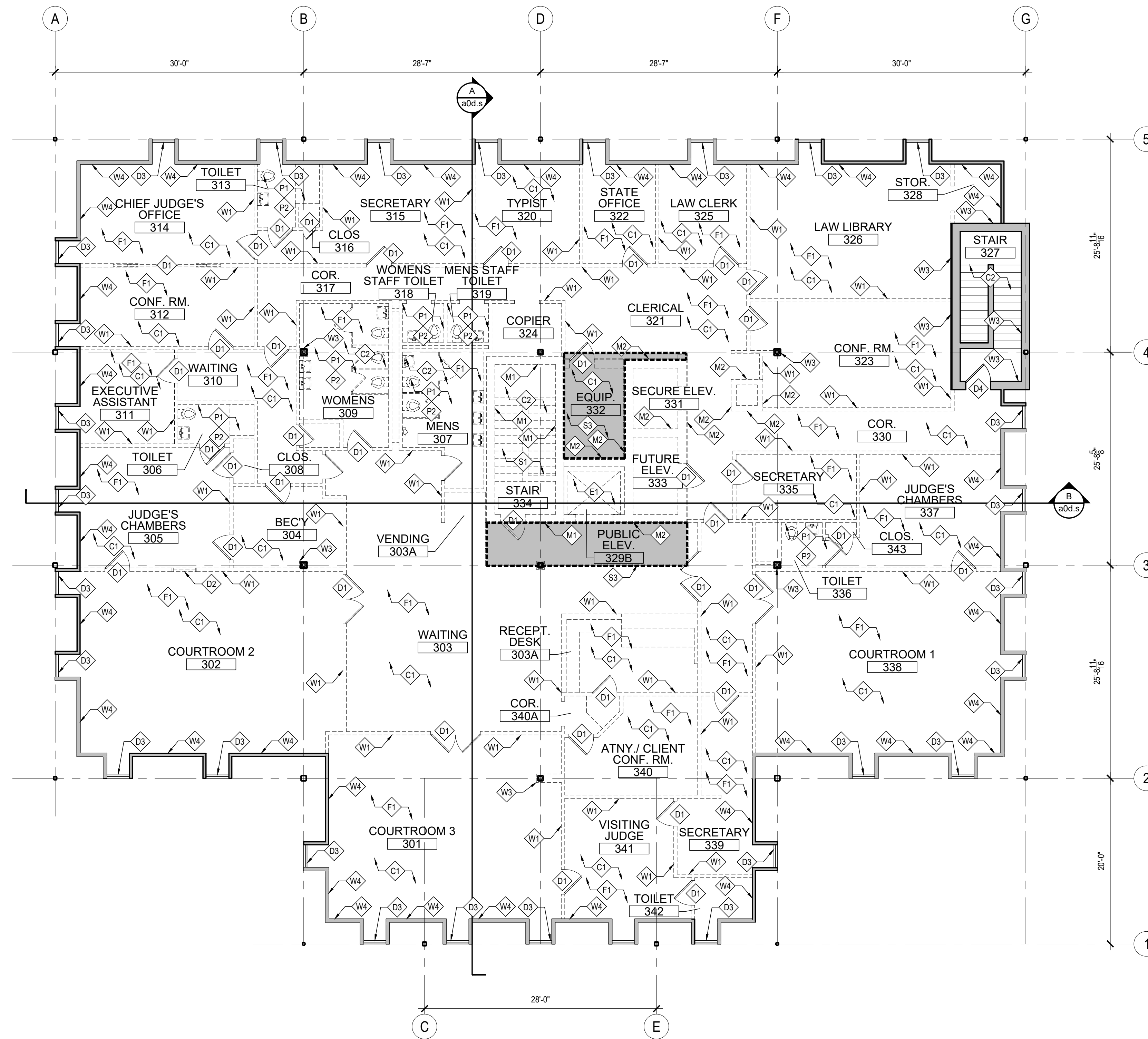
SHEET INFO:

PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

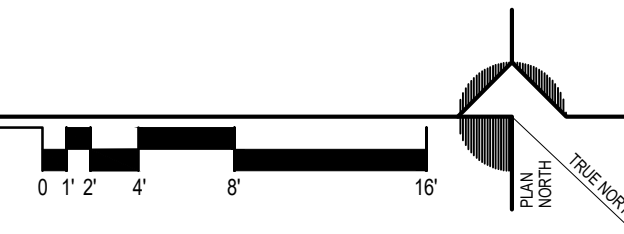
TITLE & NO.:

DEMOLITION
PLAN:
SECOND
FLOOR

ad.2



3 DEMOLITION PLAN - THIRD FLOOR
SCALE: 1/8" = 1'-0"



SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILINGS WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
C2	REMOVE EXISTING WALLBOARD CEILING ASSEMBLY IN ITS ENTIRETY, INCLUDING ANY CEILINGS WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
D1	REMOVE EXISTING INTERIOR DOOR, FRAME & HARDWARE, INCLUDING ANY LOW-VOLTAGE CABLING, IN ITS ENTIRETY
D2	REMOVE EXISTING INTERIOR WINDOW & FRAME IN ITS ENTIRETY
D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
R4	UPON REMOVAL OF ROOFTOP EQUIPMENT AS DIRECTED BY MEP DRAWINGS, ENCLOSE EXISTING ROOF OPENING PER DETAIL
S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
S3	REMOVE PORTION (SHADED) OF EXISTING COMPOSITE CONCRETE DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
W1	REMOVE EXISTING INTERIOR STUD WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
W2	
W3	REMOVE EXISTING WALL FINISH, INCLUDING FURRING, BLOCKING, WIRING, ETC TO EXPOSE THE EXISTING STEEL COLUMN AND OR MASONRY WALL TO REMAIN
W4	EXTERIOR WALLS (STUD) REMOVE EXISTING INTERIOR WALL FINISH TO EXPOSE THE EXISTING EXTERIOR STUDS (TO REMAIN) & INSULATION (TO REMAIN)
W5	EXTERIOR WALLS (MASONRY) REMOVE EXISTING INTERIOR WALL FINISHES TO EXPOSE THE EXISTING CMU (TO REMAIN), INCLUDING WALL BASE & ANY MOULDINGS, TRIMS, ETC.

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	DOOR TAG
	WINDOW TAG
	SECTION TAG
	ELEVATION TAG
	DEMOLITION KEYNOTE

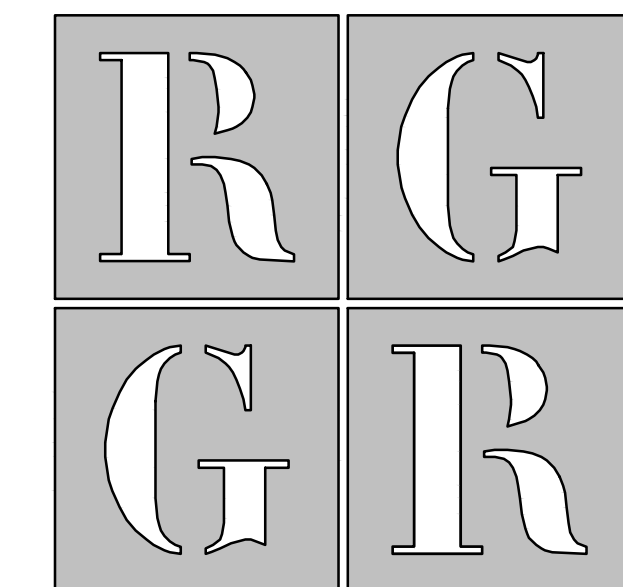
SELECTIVE DEMOLITION SCOPE	
REMOVE:	<ol style="list-style-type: none"> ALL NON-BEARING WALLS. CONTACT ARCHITECT / ENGINEER WITH QUESTIONS PRIOR TO REMOVING AN ELEMENT THAT MAY BE STRUCTURAL. ALL FLOOR FINISHES DOWN TO CONCRETE DECK. ALL CEILINGS AND CEILING SYSTEMS. ALL WALL FINISHES ON EXTERIOR AND INTERIOR BEARING WALLS (BEARING WALL TO REMAIN) DOWN TO BARE MASONRY. ALL INTERIOR DOORS AND FRAMES.
EXISTING TO REMAIN:	<ol style="list-style-type: none"> STRUCTURAL SUPPORT COLUMNS, BEAMS, TRUSSES, AND GIRDERS. CONTACT ARCHITECT / ENGINEER IF AN EXISTING STRUCTURAL ELEMENT APPEARS DAMAGED, DISTRESSED AND/OR MAY REQUIRE TEMPORARY SHORING. STRUCTURAL BEAMS IN FLOORS & CEILINGS EXTERIOR DOORS AND FRAMES EXTERIOR WINDOWS ALL ROOFING AND ROOF STRUCTURE ALL STRUCTURAL FLOORS ALL SPRAY FIREPROOFINGS ALL BEARING WALLS ARE TO REMAIN. HOWEVER, ALL FINISHES (I.E. DRYWALL OR PLASTER) SHALL BE REMOVED FROM THEM.

SELECTIVE DEMOLITION NOTES:	
1.	THE SCOPE, NOTES AND KEYNOTES ON THIS SHEET ADDRESS ARCHITECTURAL AND STRUCTURAL SYSTEMS AND ELEMENTS ONLY. REFER TO MEP DRAWINGS FOR SCOPE OF DEMOLITION RELATING TO THOSE SYSTEMS

GENERAL DEMOLITION NOTES	
A.	ALL AREAS DESIGNATED BY DASHED LINES ARE TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE ALL DEMOLITION W/ MECHANICAL & ELECTRICAL DRAWINGS TO CONFIRM EXISTENT AND ACCOUNT FOR WORK NOT SHOWN ON PLANS.
B.	ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL REMAIN IN TACT. PATCH AND REPAIR EXISTING PARTITIONS AS REQUIRED. TO MATCH EXISTING OR IN ACCORDANCE WITH PROPOSED RENOVATIONS.
C.	PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT EXISTING ELEMENTS TO REMAIN.
D.	PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
E.	LOCATE AND IDENTIFY EXISTING UTILITIES, INCLUDING SANITARY SEWER SYSTEM, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
F.	DEMOLISH CONCRETE AND MASONRY WALLS IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES WITH OTHER ELEMENTS TO REMAIN BY USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS. DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
H.	GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER DISCARDED MATERIALS AND/OR EQUIPMENT RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE AS STIPULATED IN THE PROJECT MANUAL ON A DAILY BASIS.
I.	IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
J.	BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.
K.	COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED WITH OWNER. CONTRACTOR SHALL SCHEDULE WORK, SO AS NOT TO UNDULY INTERFERE WITH OWNER'S OPERATIONS.
L.	ALL EXISTING EXTERIOR DOORS AND WINDOWS ARE TO REMAIN U.N.O.
M.	ALL CEILINGS AT ALL LEVELS ARE TO BE DEMOLISHED WHETHER THEY ARE SHOWN ON THE PLANS OR NOT.

NOTES:	
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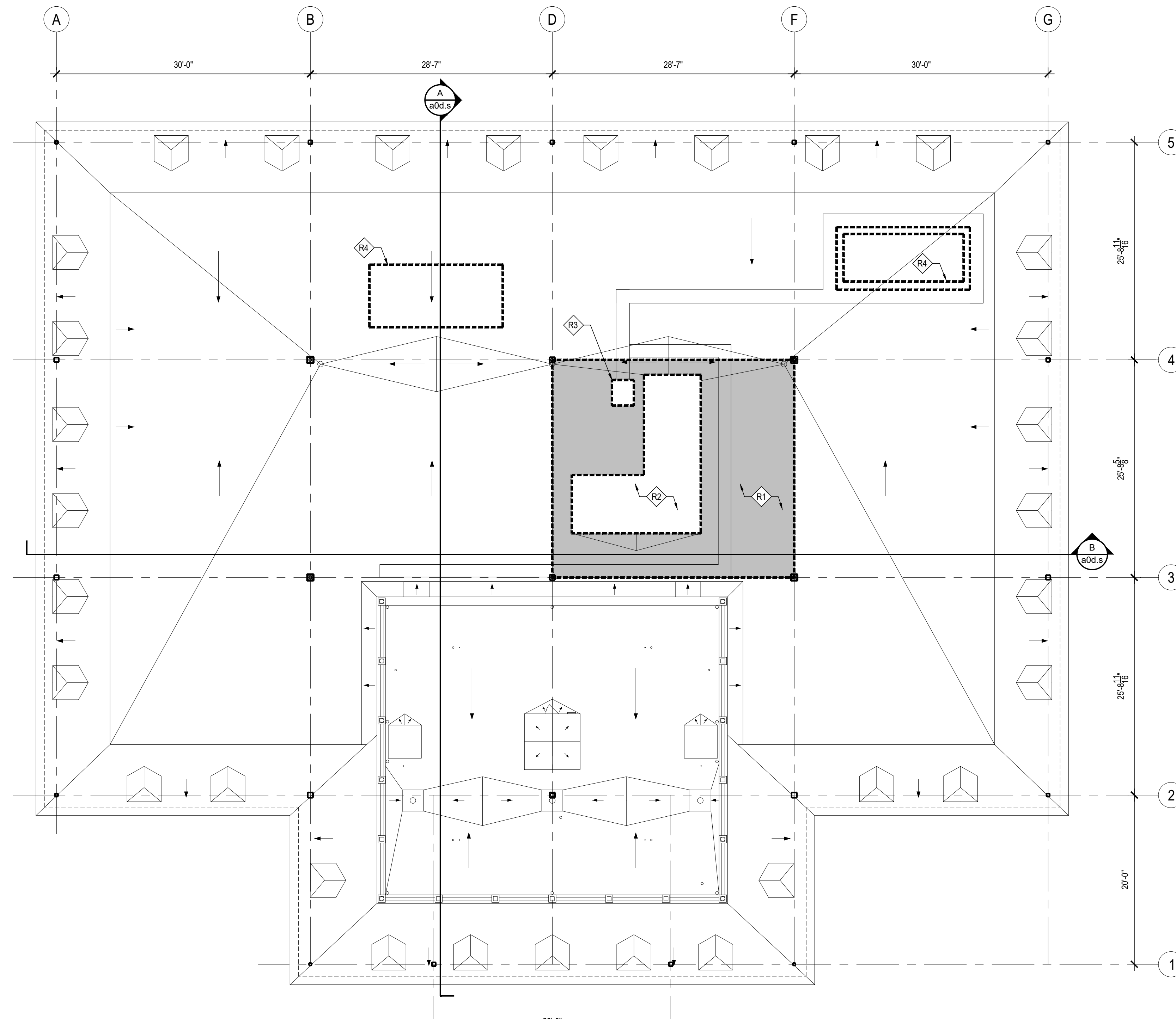
ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

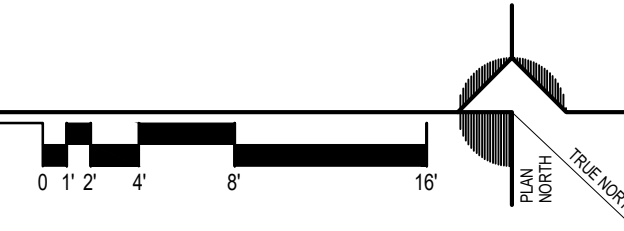
22 The Circle
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Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

TITLE & NO.:
DEMOLITION PLAN: THIRD FLOOR



DEMOLITION PLAN - ROOF
SCALE: 1/8" = 1'-0"



SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILINGS WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
C2	REMOVE EXISTING WALLBOARD CEILING ASSEMBLY IN ITS ENTIRETY, INCLUDING ANY CEILINGS WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
D1	REMOVE EXISTING INTERIOR DOOR, FRAME & HARDWARE, INCLUDING ANY LOW-VOLTAGE CABLING, IN ITS ENTIRETY
D2	REMOVE EXISTING INTERIOR WINDOW & FRAME IN ITS ENTIRETY
D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
R4	UPON REMOVAL OF ROOFTOP EQUIPMENT AS DIRECTED BY MEP DRAWINGS, ENCLOSE EXISTING ROOF OPENING PER DETAIL
S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
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S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
W1	REMOVE EXISTING INTERIOR STUD WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
W2	
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	EXISTING TO BE REMOVED
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	WINDOW TAG
	SECTION TAG
	ELEVATION TAG
	DEMOLITION KEYNOTE

SELECTIVE DEMOLITION SCOPE	
REMOVE:	
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3. ALL CEILINGS AND CEILING SYSTEMS.	
4. ALL WALL FINISHES ON EXTERIOR AND INTERIOR BEARING WALLS (BEARING WALL TO REMAIN) DOWN TO BARE MASONRY.	
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EXISTING TO REMAIN:	
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3. EXTERIOR DOORS AND FRAMES	
4. EXTERIOR WINDOWS	
5. ALL ROOFING AND ROOF STRUCTURE	
6. ALL STRUCTURAL FLOORS	
7. ALL SPRAY FIREPROOFING	
8. ALL BEARING WALLS ARE TO REMAIN. HOWEVER, ALL FINISHES (I.E. DRYWALL OR PLASTER) SHALL BE REMOVED FROM THEM.	

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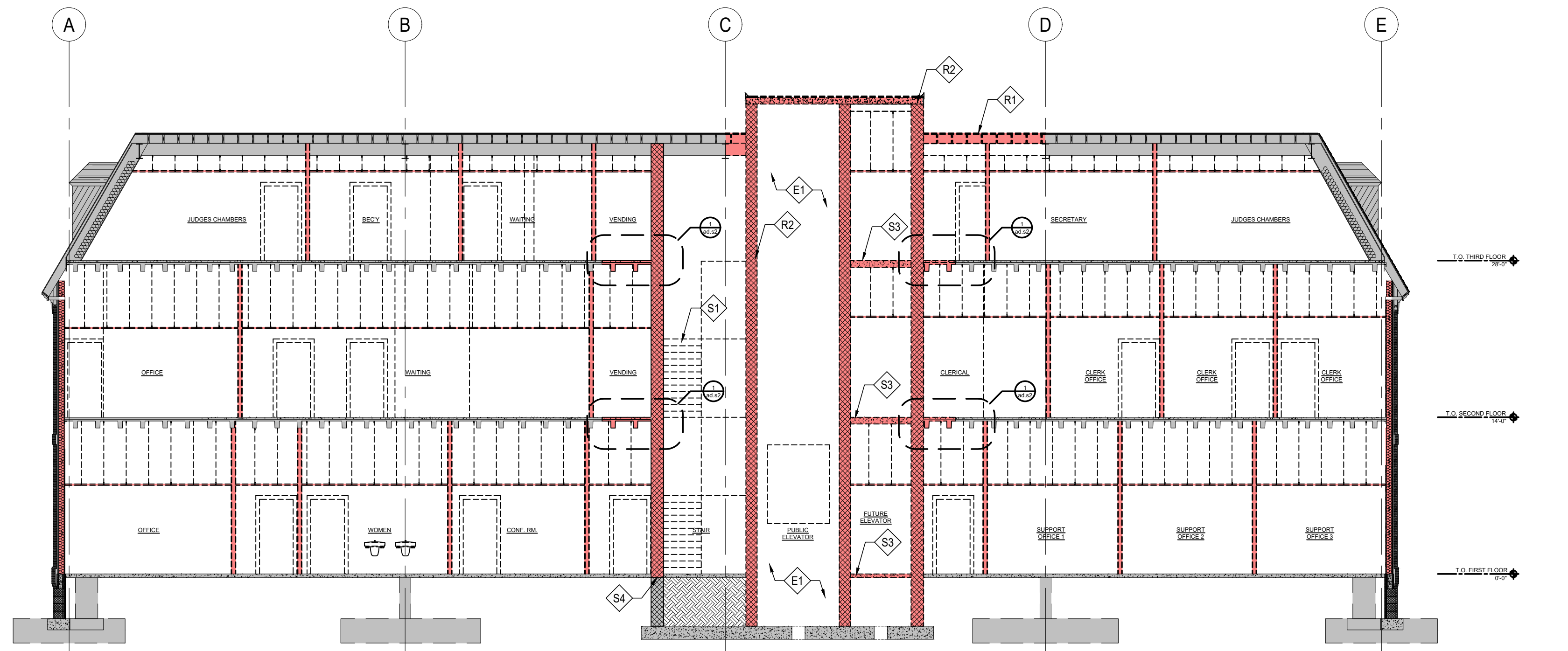
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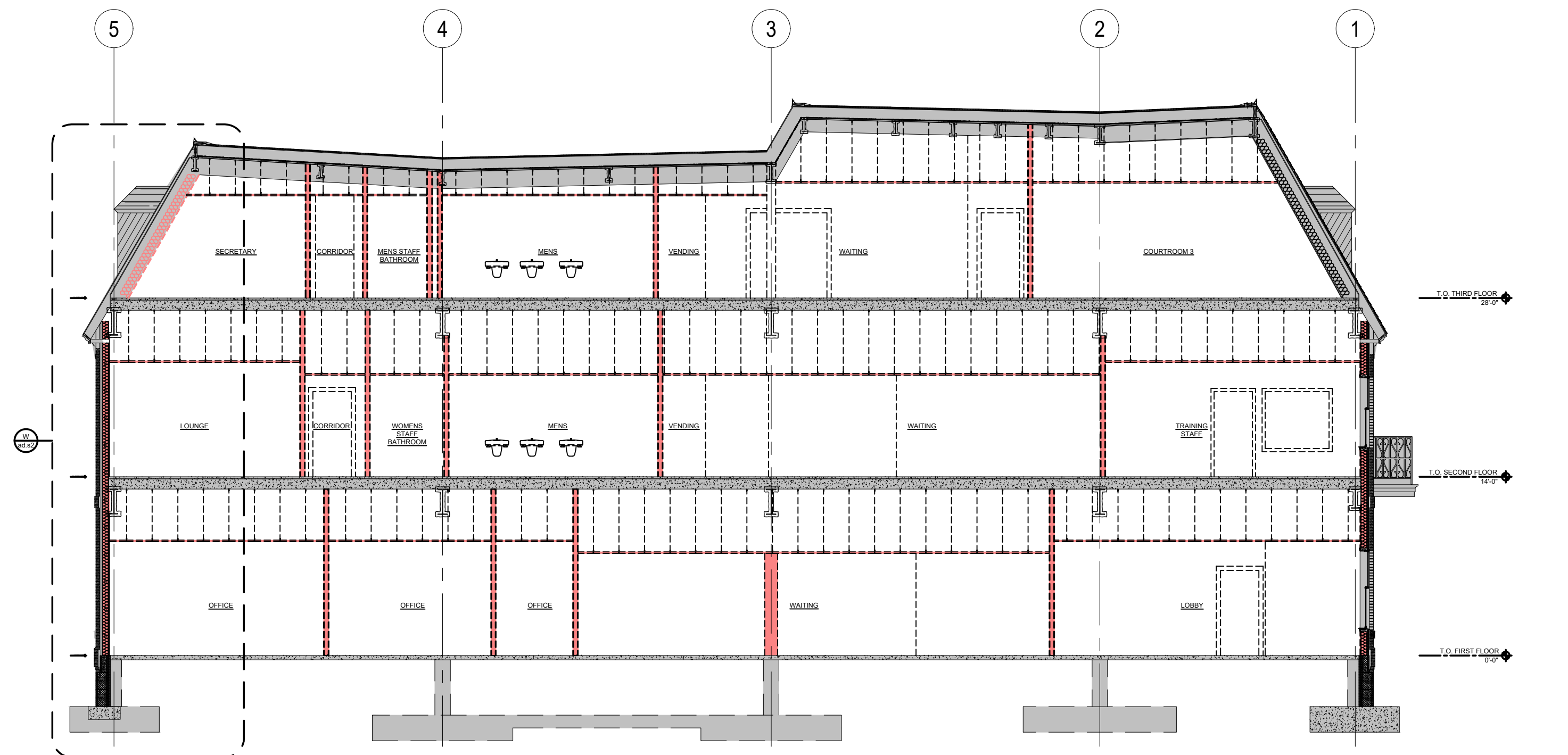
SHEET INFO:
PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

TITLE & NO.:
DEMOLITION PLAN: ROOF

ad.r



B DEMOLITION BUILDING SECTION B
SCALE: 1/8" = 1'-0"



A DEMOLITION BUILDING SECTION A
SCALE: 1/8" = 1'-0"

SELECTIVE DEMOLITION KEYNOTES	
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	EXISTING TO BE REMOVED
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	WINDOW TAG
	SECTION TAG
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	DEMOLITION KEYNOTE

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G.	DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
H.	GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER DISCARDED MATERIALS AND/OR EQUIPMENT RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE AS STIPULATED IN THE PROJECT MANUAL ON A DAILY BASIS.
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 Town of Georgetown
 Sussex County

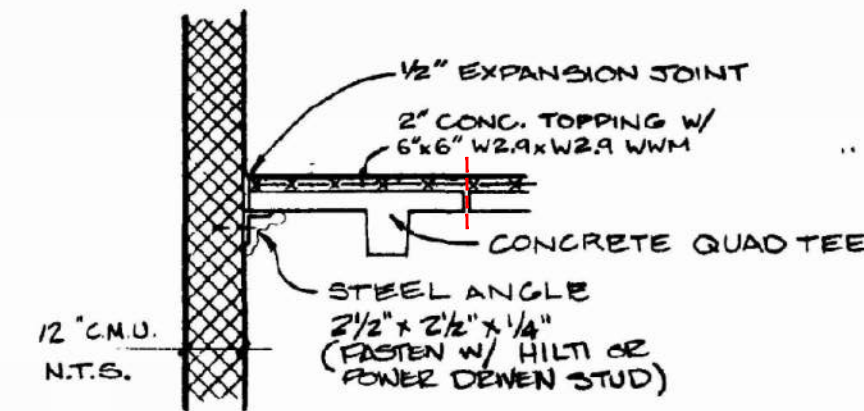
SHEET INFO:
 PROJECT NO: 25022
 DRAWN BY: RAG
 CHECKED BY: RAG
 SCALE: 1/8" = 1'-0"
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

DEMOLITION SECTIONS

ad.s1

- DEMOLITION CONTRACTOR TO VERIFY THAT THE QUAD-T DECK IS BEARING AS INDICATED ON THE ORIGINAL DRAWINGS & NOTIFY THE ARCHITECT /ENGINEER IF FIELD CONDITION DIFFERS FROM DETAIL.
- EXPECTED LOCATION OF JOINT INDICATED IN RED.
- IF CONDITION IS AS EXPECTED, LOCATE EDGE OF QUAD-T AND SAW CUT THROUGH SLAB @ THIS JOINT.
- REMOVE SECTION OF QUAD-T FROM THIS JOINT TO THE CMU SHAFTWALL BEING REMOVED

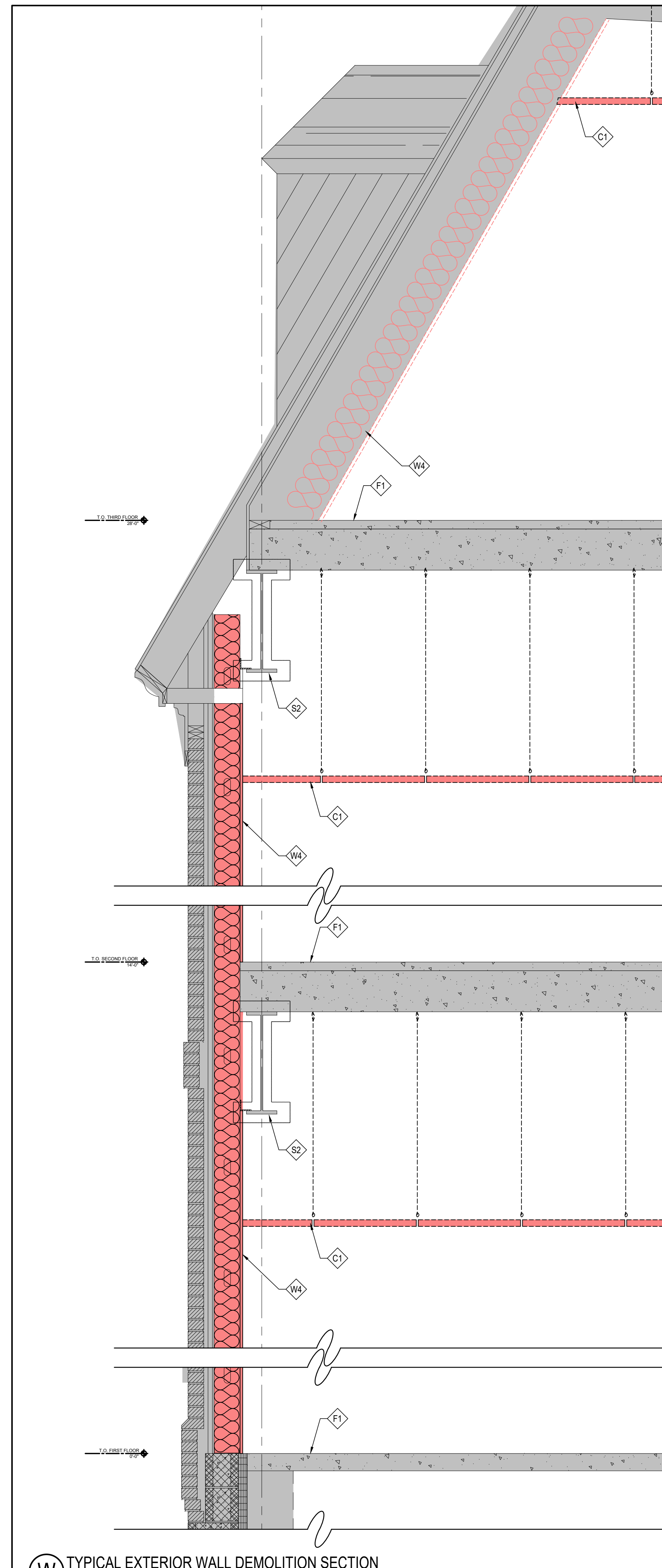


Section
SCALE: 1/2" = 1'-0"

THIS SECTION IS FROM THE ORIGINAL 1986 DRAWINGS. SEE SHEET S-4 IN THE REFERENCE SHEETS OF THIS DRAWING SET

1 REMOVAL OF QUAD T DECK SECTION BEARING ON ANGLE

SCALE: NONE



W TYPICAL EXTERIOR WALL DEMOLITION SECTION
SCALE: 3/4" = 1'-0"

SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
C2	REMOVE EXISTING WALLBOARD CEILING ASSEMBLY IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
D1	REMOVE EXISTING INTERIOR DOOR, FRAME & HARDWARE, INCLUDING ANY LOW-VOLTAGE CABLING, IN ITS ENTIRETY
D2	REMOVE EXISTING INTERIOR WINDOW & FRAME IN ITS ENTIRETY
D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
R4	UPON REMOVAL OF ROOFTOP EQUIPMENT AS DIRECTED BY MEP DRAWINGS, ENCLOSE EXISTING ROOF OPENING PER DETAIL
S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
S3	REMOVE PORTION (SHADED) OF EXISTING COMPOSITE CONCRETE DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
W1	REMOVE EXISTING INTERIOR STUD WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
W2	
W3	REMOVE EXISTING WALL FINISH, INCLUDING FURRING, BLOCKING, WIRING, ETC TO EXPOSE THE EXISTING STEEL COLUMN AND OR MASONRY WALL TO REMAIN
W4	EXTERIOR WALLS (STUD) REMOVE EXISTING INTERIOR WALL FINISH TO EXPOSE THE EXISTING EXTERIOR STUDS (TO REMAIN) & INSULATION (TO REMAIN)
W5	EXTERIOR WALLS (MASONRY) REMOVE EXISTING INTERIOR WALL FINISHES TO EXPOSE THE EXISTING CMU (TO REMAIN), INCLUDING WALL BASE & ANY MOULDINGS, TRIMS, ETC.

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	DOOR TAG
	WINDOW TAG
	SECTION TAG
	ELEVATION TAG
	DEMOLITION KEYNOTE

SELECTIVE DEMOLITION SCOPE

- REMOVE:
- ALL NON-BEARING WALLS. CONTACT ARCHITECT / ENGINEER WITH QUESTIONS PRIOR TO REMOVING AN ELEMENT THAT MAY BE STRUCTURAL.
 - ALL FLOOR FINISHES DOWN TO CONCRETE DECK.
 - ALL CEILING AND CEILING SYSTEMS.
 - ALL WALL FINISHES ON EXTERIOR AND INTERIOR BEARING WALLS (BEARING WALL TO REMAIN) DOWN TO BARE MASONRY.
 - ALL INTERIOR DOORS AND FRAMES.

- EXISTING TO REMAIN:
- STRUCTURAL SUPPORT COLUMNS, BEAMS, TRUSSES, AND GIRDERS. CONTACT ARCHITECT / ENGINEER IF AN EXISTING STRUCTURAL ELEMENT APPEARS DAMAGED, DISTRESSED AND/OR MAY REQUIRE TEMPORARY SHORING.
 - STRUCTURAL BEAMS IN FLOORS & CEILINGS
 - EXTERIOR DOORS AND FRAMES
 - EXTERIOR WINDOWS
 - ALL ROOFING AND ROOF STRUCTURE
 - ALL STRUCTURAL FLOORS
 - ALL SPRAY FIREPROOFING
 - ALL BEARING WALLS ARE TO REMAIN, HOWEVER, ALL FINISHES (I.E. DRYWALL OR PLASTER) SHALL BE REMOVED FROM THEM.

SELECTIVE DEMOLITION NOTES:

- THE SCOPE, NOTES AND KEYNOTES ON THIS SHEET ADDRESS ARCHITECTURAL AND STRUCTURAL SYSTEMS AND ELEMENTS ONLY.
- REFER TO MEP DRAWINGS FOR SCOPE OF DEMOLITION RELATING TO THOSE SYSTEMS

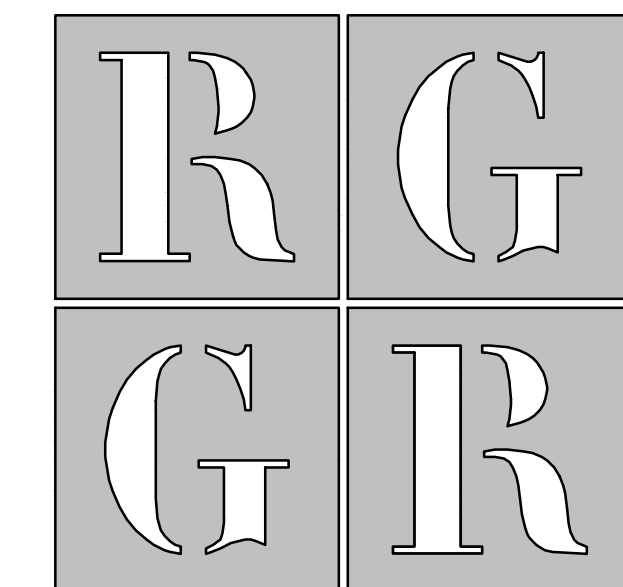
GENERAL DEMOLITION NOTES

- ALL AREAS DESIGNATED BY DASHED LINES ARE TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE ALL DEMOLITION W/ MECHANICAL & ELECTRICAL DRAWINGS TO CONFIRM EXTENT AND ACCOUNT FOR WORK NOT SHOWN ON PLANS.
- ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL REMAIN IN TACT. PATCH AND REPAIR EXISTING PARTITIONS AS REQUIRED TO MATCH EXISTING OR IN ACCORDANCE WITH PROPOSED RENOVATIONS.
- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT EXISTING ELEMENTS TO REMAIN.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
- LOCATE AND IDENTIFY EXISTING UTILITIES, INCLUDING SANITARY SEWER SYSTEM, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
- DEMOLISH CONCRETE AND MASONRY WALLS IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES WITH OTHER ELEMENTS TO REMAIN BY USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS. DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER DISCARDED MATERIALS AND/OR EQUIPMENT RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE AS STIPULATED IN THE PROJECT MANUAL ON A DAILY BASIS.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.
- COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED WITH OWNER. CONTRACTOR SHALL SCHEDULE WORK, SO AS NOT TO UNDULY INTERFERE WITH OWNERS OPERATIONS.
- ALL EXISTING EXTERIOR DOORS AND WINDOWS ARE TO REMAIN U.N.O.
- ALL CEILING AT ALL LEVELS ARE TO BE DEMOLISHED WHETHER THEY ARE SHOWN ON THE PLANS OR NOT.

NOTES:

- ALL CABINETRY, CASEWORK AND WORKSURFACES THROUGHOUT BUILDING SHALL BE REMOVED.

IMPORTANT - DO NOT DISTRIBUTE:
NOTE: THESE DRAWINGS ARE CONFIDENTIAL FOR OFFICIAL USE ONLY, NOT FOR PUBLIC DISTRIBUTION. A DETERMINATION HAS BEEN MADE THAT THE PUBLICATION OF THESE PLANS COULD COMPROMISE PUBLIC SAFETY AND ARE NOT AVAILABLE PURSUANT TO DELAWARE CODE, TITLE 29, §1002 (1)(17)(g)(2) AND (3).



R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100



The professional services of the Architect are undertaken for and performed in the interest of the State of Delaware. No contractual obligation is assumed for the benefit of any other person involved in the project.

ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

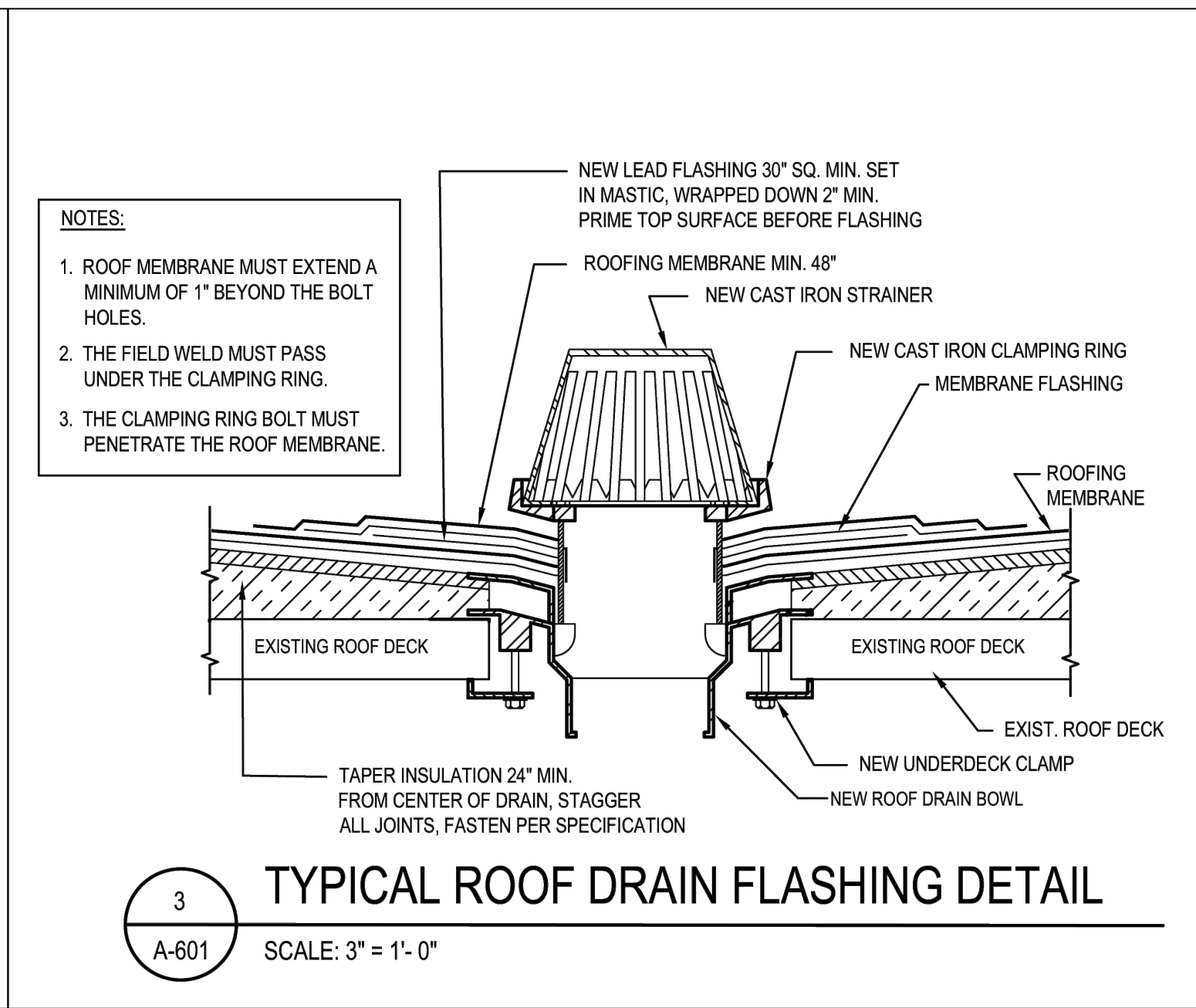
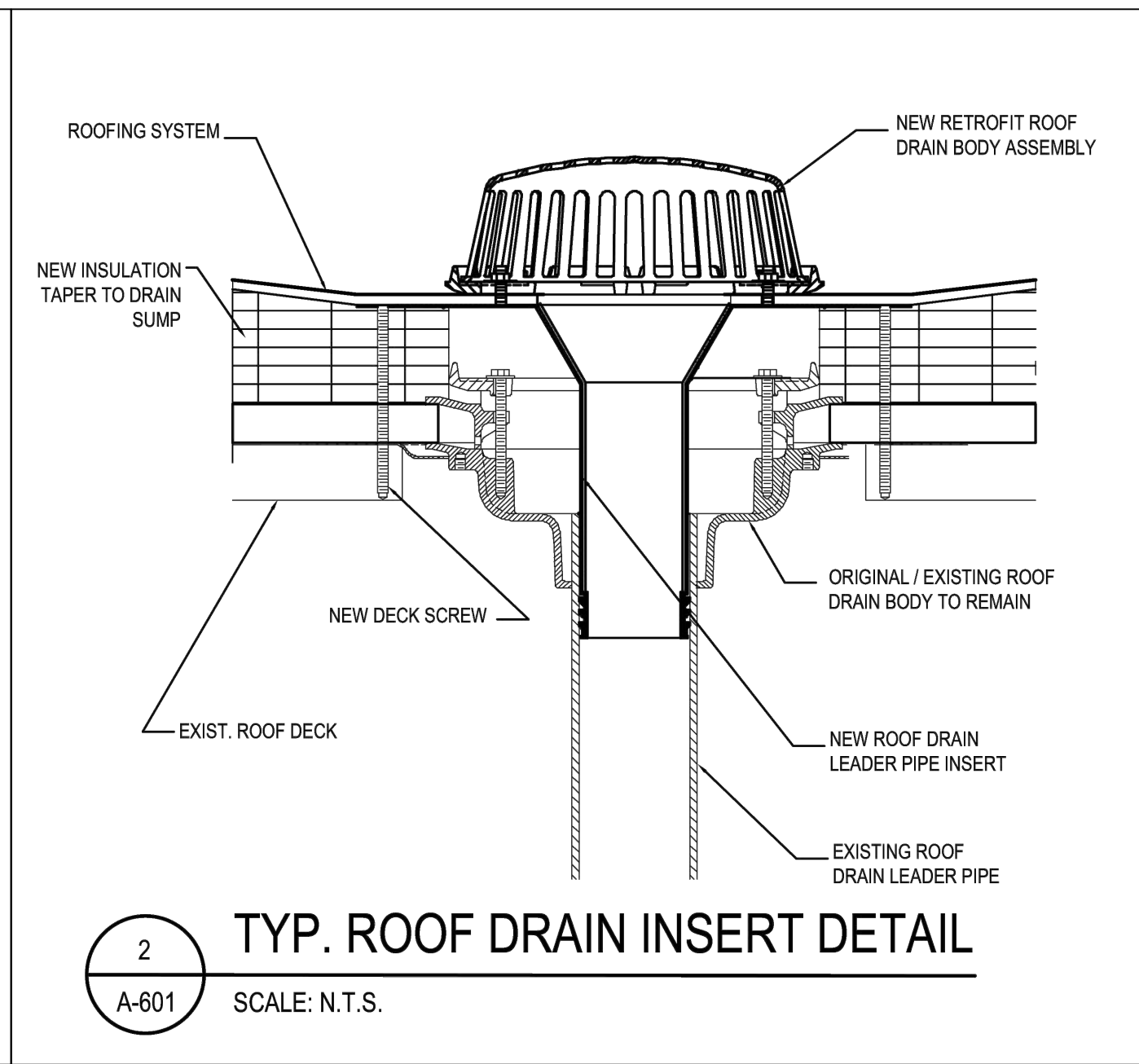
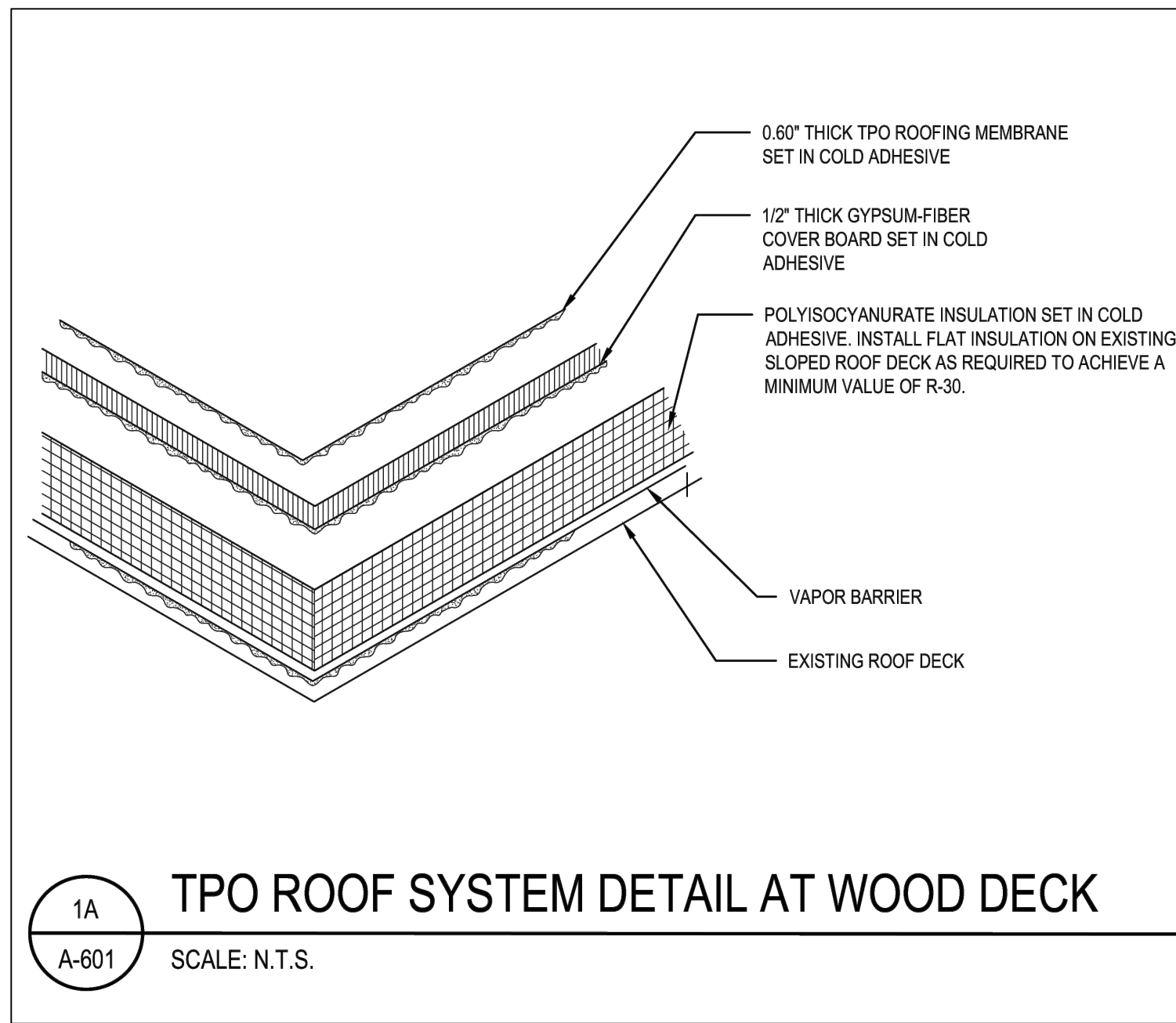
SHEET INFO:

PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

TITLE & NO.:

DEMOLITION SECTIONS

ad.s2

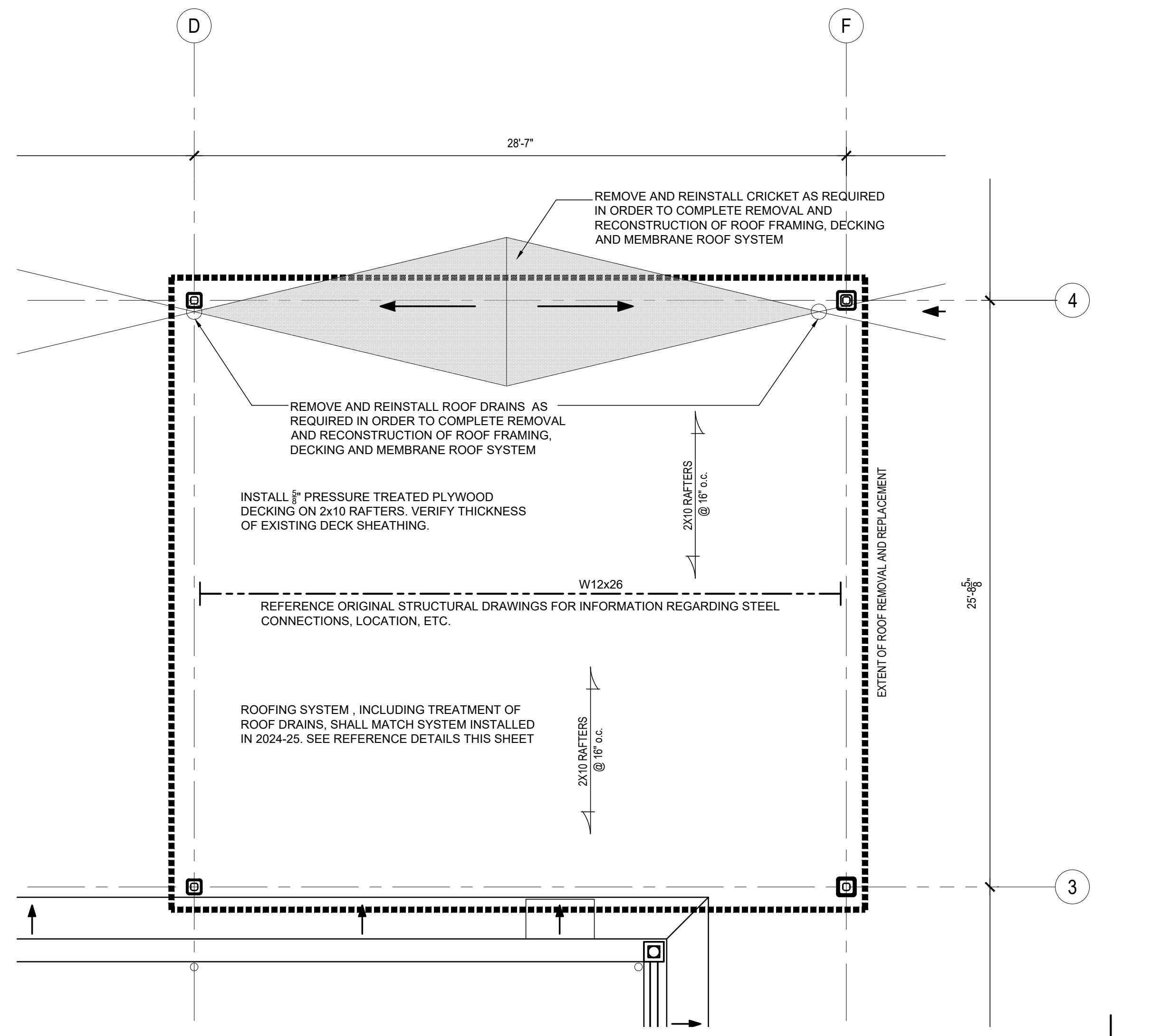
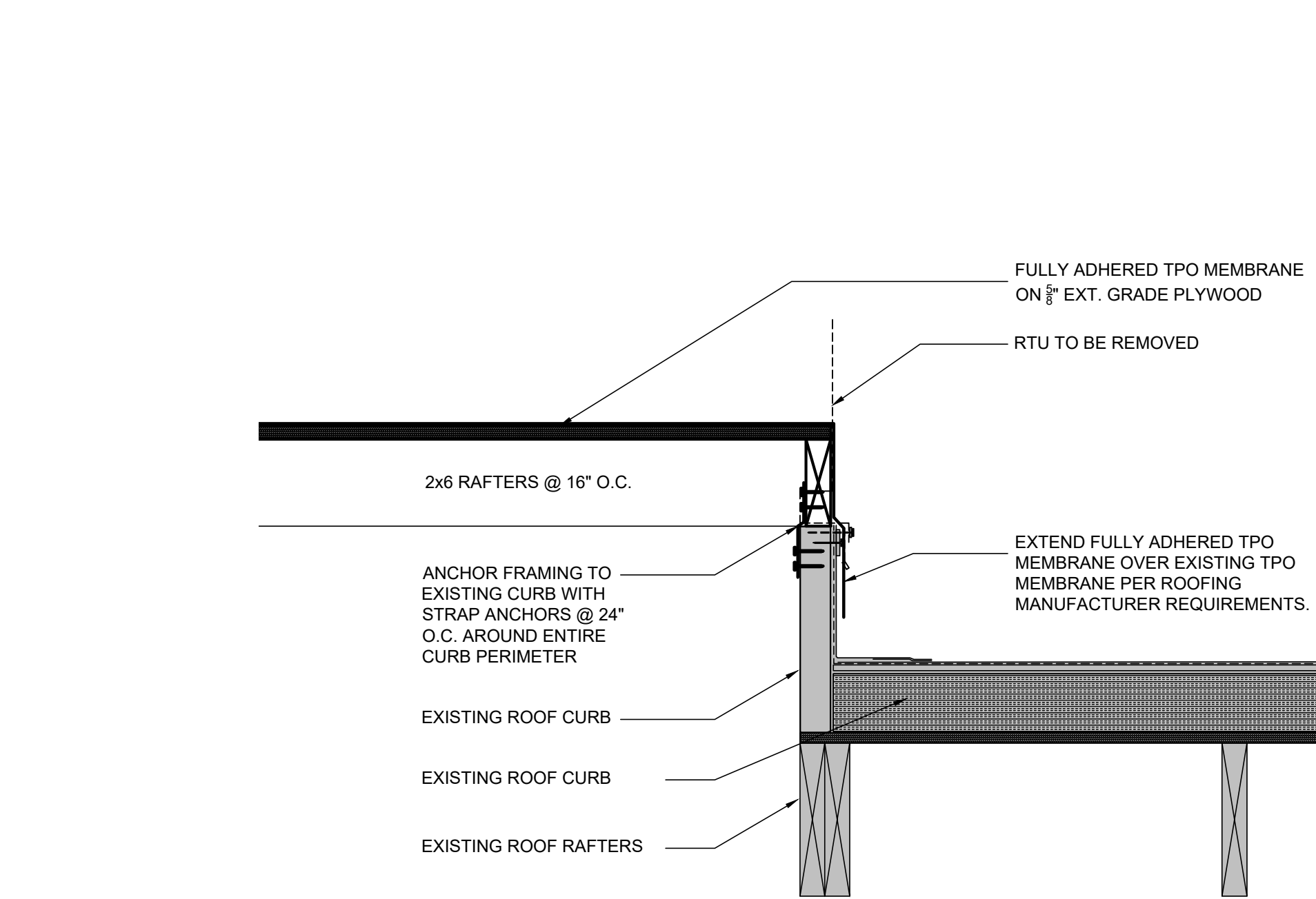


NOTE:
1. DETAILS SHOWN ABOVE ARE FROM ROOF REPLACEMENT PROJECT COMPLETED IN 2024-25. THESE DETAILS ARE PROVIDED FOR INFORMATION PURPOSES, AND ALL CONDITIONS MUST BE FIELD VERIFIED.

1A TPO ROOF SYSTEM DETAIL AT WOOD DECK
SCALE: N.T.S.

2 TYP. ROOF DRAIN INSERT DETAIL
SCALE: N.T.S.

3 TYPICAL ROOF DRAIN FLASHING DETAIL
SCALE: 3" = 1'-0"



SELECTIVE DEMOLITION KEYNOTES	
C1	REMOVE EXISTING ACOUSTIC CEILING TILE SYSTEM IN ITS ENTIRETY, INCLUDING ANY CEILING WHICH MAY BE ABOVE THE VISIBLE CEILING SYSTEM, LEAVING ONLY THE EXISTING STRUCTURAL DECK ABOVE
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D3	REMOVE EXISTING WINDOW TRIM IN ITS ENTIRETY
D4	EXISTING DOOR TO REMAIN. REMOVE INTERIOR TRIM (IF PRESENT) IN ITS ENTIRETY
D5	REMOVE EXISTING SECURITY GLAZING SYSTEM IN ITS ENTIRETY. EXISTING WINDOW FRAME TO REMAIN.
E1	REMOVE EXISTING ELEVATOR CAB, MACHINERY, EQUIPMENT AND SHAFT IN ITS ENTIRETY
F1	REMOVE ALL EXISTING FLOOR FINISH MATERIAL DOWN TO CONCRETE SLAB/DECK
M1	REMOVE EXISTING CMU STAIRWELL WALLS IN THEIR ENTIRETY.
M2	REMOVE EXISTING INTERIOR MASONRY WALL IN ITS ENTIRETY, INCLUDING, BUT NOT LIMITED TO ALL FINISHES, MOULDINGS, TRIM, BLOCKING, WIRING, INSULATION, ETC.
P1	REMOVE EXISTING PLUMBING FIXTURE - REFER TO PLUMBING DRAWINGS
P2	REMOVE EXISTING TOILET ROOM FIXTURES, PARTITIONS, ACCESSORIES, ETC IN THEIR ENTIRETY
R1	REMOVE PORTION (SHADED) OF EXISTING ROOF DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
R2	IN CONJUNCTION WITH THE MASONRY SHAFTS, REMOVE PORTION OF ROOF WHICH RISES ABOVE THE MAIN ROOF
R3	REMOVE EXISTING ROOF SCUTTLE, CURB AND LADDER IN ITS ENTIRETY
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S1	REMOVE EXISTING STEEL PAN STAIR SYSTEM IN ITS ENTIRETY, INCLUDING HANDRAILS, STRINGERS AND LANDINGS
S2	EXISTING STEEL BEAM/COLUMN TO REMAIN - PROTECT EXISTING SPRAY FIREPROOFING COATING
S3	REMOVE PORTION (SHADED) OF EXISTING COMPOSITE CONCRETE DECK AS SHOWN IN DETAILS. EXISTING CONCRETE QUAD-T FLOORING SYSTEM TO REMAIN. REFER TO DEMOLITION SECTION SHEETS FOR INFO
S4	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
S5	REMOVE CMU WALL TO A POINT 12" BELOW THE BOTTOM OF THE EXISTING SLAB-ON-GRADE
T1	REMOVE EXISTING BATT INSULATION LOCATED IN EXISTING EXTERIOR STUD WALL CAVITY
T2	REMOVE EXISTING BATT INSULATION WHICH IS SUSPENDED FROM THE ROOF STRUCTURE, INCLUDING WIRING AND SUSPENSION METHOD
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W5	EXTERIOR WALLS (MASONRY) REMOVE EXISTING INTERIOR WALL FINISHES TO EXPOSE THE EXISTING CMU (TO REMAIN), INCLUDING WALL BASE & ANY MOULDINGS, TRIMS, ETC.

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	DOOR TAG
	WINDOW TAG
	SECTION TAG
	ELEVATION TAG
	DEMOLITION KEYNOTE

SELECTIVE DEMOLITION SCOPE	
REMOVE:	
1.	ALL NON-BEARING WALLS. CONTACT ARCHITECT / ENGINEER WITH QUESTIONS PRIOR TO REMOVING AN ELEMENT THAT MAY BE STRUCTURAL.
2.	ALL FLOOR FINISHES DOWN TO CONCRETE DECK.
3.	ALL CEILINGS AND CEILING SYSTEMS.
4.	ALL WALL FINISHES ON EXTERIOR AND INTERIOR BEARING WALLS (BEARING WALL TO REMAIN) DOWN TO BARE MASONRY.
5.	ALL INTERIOR DOORS AND FRAMES.
EXISTING TO REMAIN:	
1.	STRUCTURAL SUPPORT COLUMNS, BEAMS, TRUSSES, AND GIRDERS. CONTACT ARCHITECT / ENGINEER IF AN EXISTING STRUCTURAL ELEMENT APPEARS DAMAGED, DISTRESSED AND/OR MAY REQUIRE TEMPORARY SHORING.
2.	STRUCTURAL BEAMS IN FLOORS & CEILINGS
3.	EXTERIOR DOORS AND FRAMES
4.	EXTERIOR WINDOWS
5.	ALL ROOFING AND ROOF STRUCTURE
6.	ALL STRUCTURAL FLOORS
7.	ALL SPRAY FIREPROOFING
8.	ALL BEARING WALLS ARE TO REMAIN. HOWEVER, ALL FINISHES (I.E. DRYWALL OR PLASTER) SHALL BE REMOVED FROM THEM.
SELECTIVE DEMOLITION NOTES:	
1.	THE SCOPE, NOTES AND KEYNOTES ON THIS SHEET ADDRESS ARCHITECTURAL AND STRUCTURAL SYSTEMS AND ELEMENTS ONLY. REFER TO MEP DRAWINGS FOR SCOPE OF DEMOLITION RELATING TO THOSE SYSTEMS

GENERAL DEMOLITION NOTES	
A.	ALL AREAS DESIGNATED BY DASHED LINES ARE TO BE REMOVED. THE CONTRACTOR SHALL VERIFY THESE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE ALL DEMOLITION W/ MECHANICAL & ELECTRICAL DRAWINGS TO CONFIRM EXTENT AND ACCOUNT FOR WORK NOT SHOWN ON PLANS.
B.	ALL AREAS AND PARTITIONS NOT DASHED OR NOTED TO BE REMOVED SHALL REMAIN IN TACT. PATCH AND REPAIR EXISTING PARTITIONS AS REQUIRED TO MATCH EXISTING OR IN ACCORDANCE WITH PROPOSED RENOVATIONS.
C.	PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR OTHER SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENTS TO BE DEMOLISHED AND ADJACENT EXISTING ELEMENTS TO REMAIN.
D.	PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN DEMOLITION AND INSTALLATION OF NEW CONSTRUCTION TO ENSURE THAT WATER LEAKAGE DOES NOT DAMAGE THE STRUCTURE.
E.	LOCATE AND IDENTIFY EXISTING UTILITIES, INCLUDING SANITARY SEWER SYSTEM, AND ASCERTAIN THEIR CONDITION TO ENSURE ADEQUATE PERFORMANCE OF ALL UTILITIES IN NEW CONSTRUCTION. PROTECT UTILITY LINES AND HARDWARE DURING DEMOLITION AND CONSTRUCTION PHASES.
F.	DEMOLISH CONCRETE AND MASONRY WALLS IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTURES WITH OTHER ELEMENTS TO REMAIN BY USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS. DO NOT USE POWER-DRIVEN IMPACT TOOLS. DISPERSE DEMOLITION EQUIPMENT THROUGHOUT STRUCTURE AND PROMPTLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
H.	GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE FROM BUILDING SITE DEBRIS, TRASH, AND OTHER DISCARDED MATERIALS AND/OR EQUIPMENT RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT AND LEGALLY DISPOSE OFF SITE AS STIPULATED IN THE PROJECT MANUAL ON A DAILY BASIS.
I.	IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
J.	BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.
K.	COORDINATE ALL DEMOLITION WITH OWNER AND OTHER TRADES. CONFIRM THE EXTENT, TIMING, AND ITEMS TO BE SALVAGED WITH OWNER. CONTRACTOR SHALL SCHEDULE WORK, SO AS NOT TO UNDULY INTERFERE WITH OWNER'S OPERATIONS.
L.	ALL EXISTING EXTERIOR DOORS AND WINDOWS ARE TO REMAIN U.N.O.
M.	ALL CEILINGS AT ALL LEVELS ARE TO BE DEMOLISHED WHETHER THEY ARE SHOWN ON THE PLANS OR NOT.

NOTES:
1. ALL CABINETRY, CASEWORK AND WORKSURFACES THROUGHOUT BUILDING SHALL BE REMOVED.

IMPORTANT - DO NOT DISTRIBUTE:
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R G ARCHITECTS
R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100

McHUGH
ENGINEERING ASSOCIATES INC.

PILOTTOWN
ENGINEERING

ROBERT A. GROVE
No. S5-08320
REGISTERED ARCHITECT
STATE OF DELAWARE

The professional services of the Architect are undertaken for and performed in the interest of the State of Delaware. No contractual obligation is assumed for the benefit of any other person involved in the project.

ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition
22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: RAG
CHECKED BY: RAG
SCALE: 1/8" = 1'-0"
DATE: 27 FEBRUARY 2026

TITLE & NO.:

ROOF PLAN & DETAILS

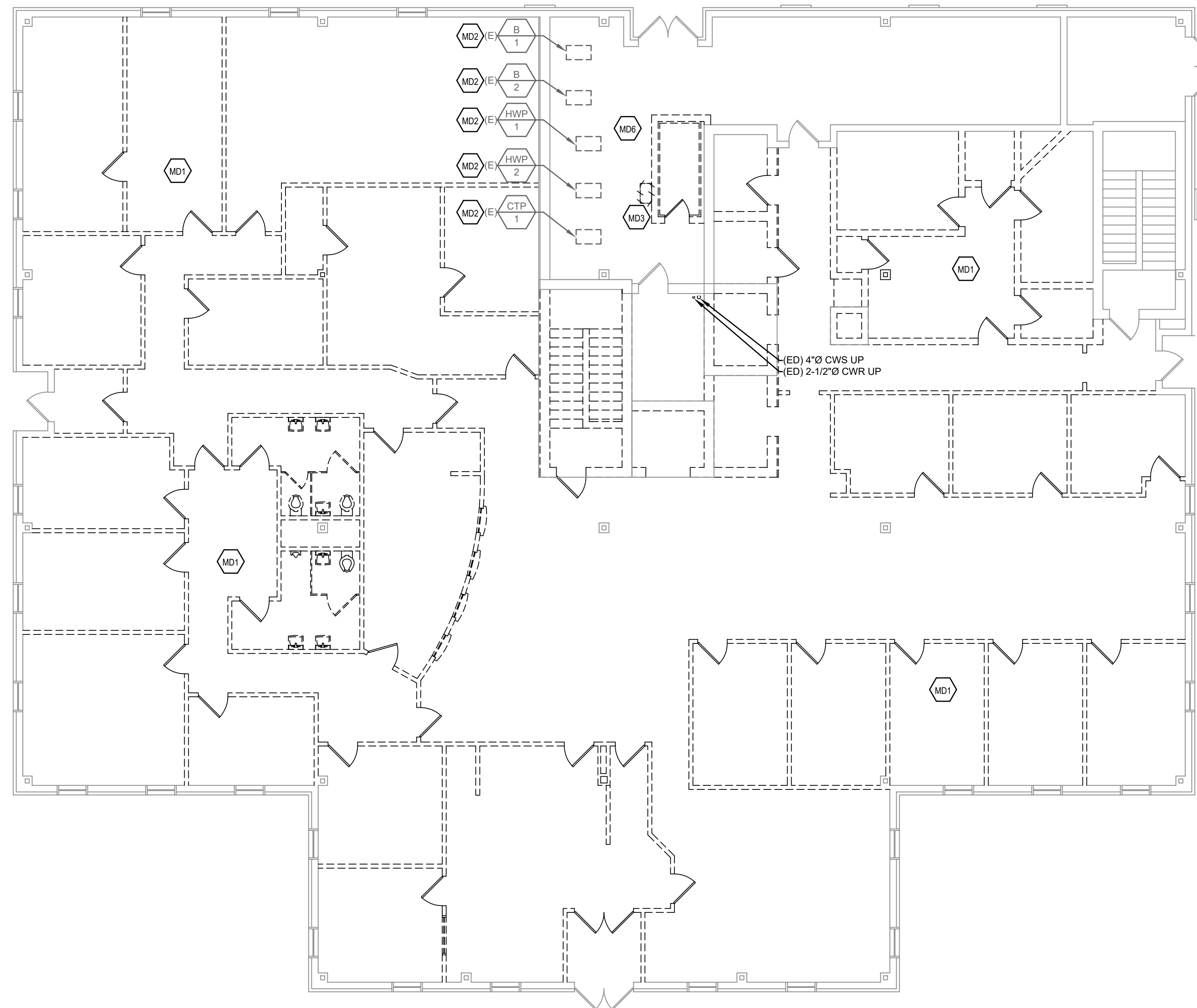
ar.1

MECHANICAL DEMOLITION NOTES:

1. CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
2. CONTRACTOR SHALL DEMOLISH ALL EXISTING HVAC SYSTEMS IN THEIR ENTIRETY EXCEPT EXISTING BOILERS (B-1, B-2), EXISTING HOT WATER PUMPS (HWP-1, HWP-2), CHEMICAL TREATMENT PUMP (CTP-1), AND EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP MAINS ARE TO REMAIN. ALL BRANCH PIPING SERVING THE WATER SOURCE HEAT PUMPS ARE TO BE DEMOLISHED BACK TO THE MAIN AND CAPPED.
3. IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
4. ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
5. GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILING AS REQUIRED BY THE ARCHITECT.
6. MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

- MD1. CONTRACTOR SHALL DEMOLISH ALL EXISTING WATER SOURCE HEAT PUMPS IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR DEVICES, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES. CONTRACTOR SHALL DEMOLISH ALL ASSOCIATED HOT WATER PIPING. EXISTING CHILLED WATER PIPING TO BE DEMOLISHED BACK TO MAIN AND CAP.
- MD2. EXISTING BOILERS AND ASSOCIATED HOT WATER AND CHEMICAL TREATMENT PUMPS TO REMAIN. CONTRACTOR TO SERVICE AND MAINTAIN EXISTING BOILER SYSTEMS INCLUDING FLUSHING/DRAINING THE SYSTEM. CONTRACTOR TO PROVIDE A SERVICE REPORT TO THE OWNER. EXISTING HOT WATER PIPING TO BE CUT AND CAPPED OUTSIDE OF THE MECHANICAL ROOM. ALL ASSOCIATED PIPING WITHIN THE MECHANICAL ROOM TO REMAIN.
- MD3. EXISTING SPLIT SYSTEM TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO INDOOR AHU, CONDENSING UNIT LOCATED IN MECHANICAL ROOM, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES.
- MD4. EXISTING COOLING TOWER TO BE DEMOLISHED INCLUDING BUT NOT LIMITED TO EXISTING ROOF DUNNAGE, POWER AND CONTROL WIRING, CONDENSATE AND MAKE-UP WATER, AND ANY ACCESSORIES. EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP PIPING TO BE DEMOLISHED AFTER IT ENTERS THE BUILDING. EXISTING SUPPLY AND RETURN CONDENSER WATER PIPING ON ROOF TO REMAIN FOR RECONNECTION INTO COOLING TOWER.
- MD5. EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6. ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.



FIRST FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

<p>THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.</p>	<p>NOTICE</p> <p>THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.</p>
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ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

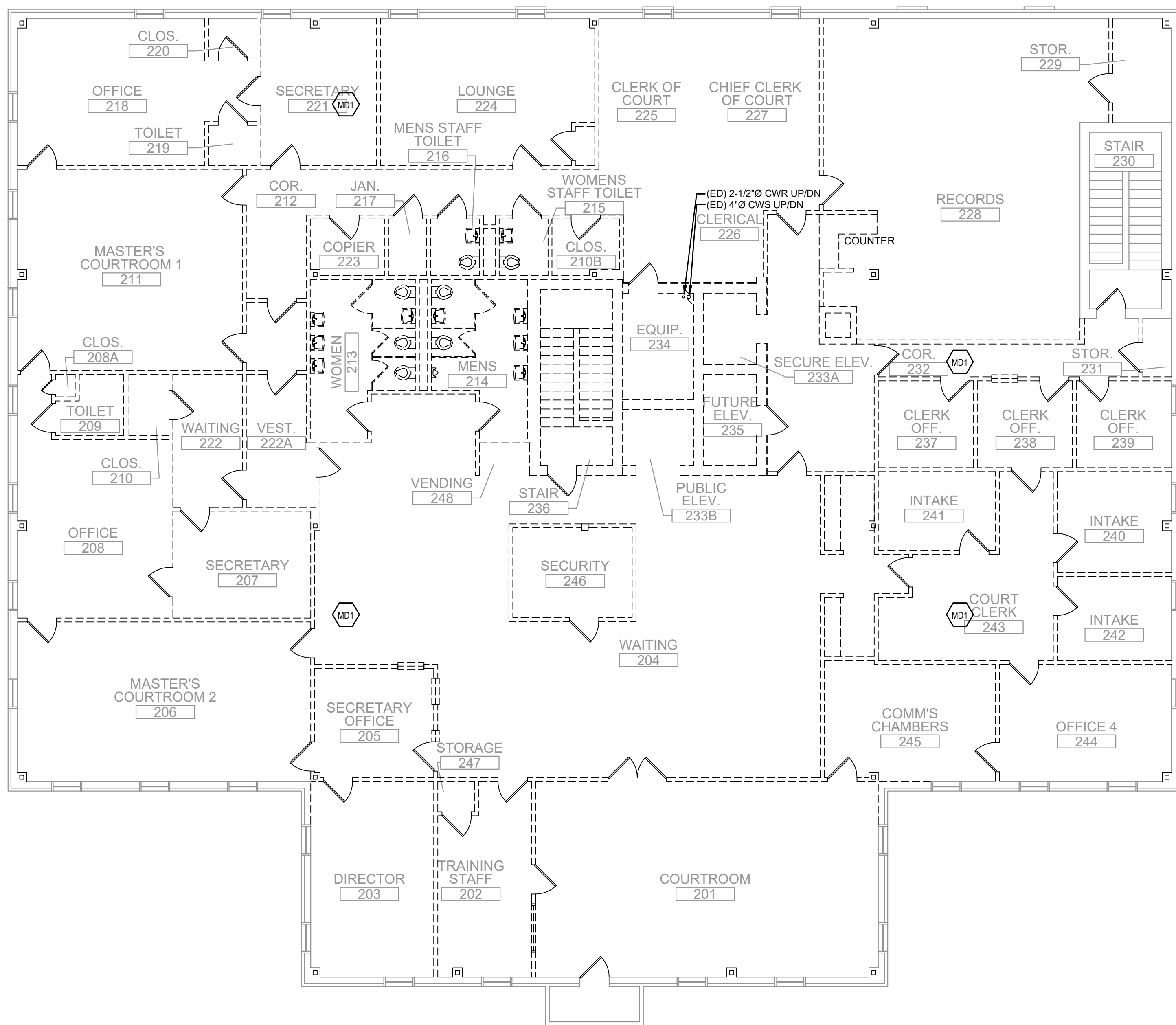
demolition
plan: first
floor-
mechanical
md.1

MECHANICAL DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
- CONTRACTOR SHALL DEMOLISH ALL EXISTING HVAC SYSTEMS IN THEIR ENTIRETY EXCEPT EXISTING BOILERS (B-1, B-2), EXISTING HOT WATER PUMPS (HWP-1, HWP-2), CHEMICAL TREATMENT PUMP (CTP-1), EXISTING WATER SOURCE HEAT PUMPS THAT ARE TO PROVIDE TEMPORARY HEAT DURING CONSTRUCTION (REFER TO PLANS), AND EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP MAINS ARE TO REMAIN. ALL BRANCH PIPING SERVING THE WATER SOURCE HEAT PUMPS ARE TO BE DEMOLISHED BACK TO THE MAIN AND CAPPED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
- ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
- GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILING AS REQUIRED BY THE ARCHITECT.
- MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

- MD1 CONTRACTOR SHALL DEMOLISH ALL EXISTING WATER SOURCE HEAT PUMPS IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR DEVICES, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES. CONTRACTOR SHALL DEMOLISH ALL ASSOCIATED HOT WATER PIPING, EXISTING CHILLED WATER PIPING TO BE DEMOLISHED BACK TO MAIN AND CAP.
- MD2 EXISTING BOILERS AND ASSOCIATED HOT WATER AND CHEMICAL TREATMENT PUMPS TO REMAIN. CONTRACTOR TO SERVICE AND MAINTAIN EXISTING BOILER SYSTEMS INCLUDING FLUSHING/DRAINING THE SYSTEM. CONTRACTOR TO PROVIDE A SERVICE REPORT TO THE OWNER. EXISTING HOT WATER PIPING TO BE CUT AND CAPPED OUTSIDE OF THE MECHANICAL ROOM. ALL ASSOCIATED PIPING WITHIN THE MECHANICAL ROOM TO REMAIN.
- MD3 EXISTING SPLIT SYSTEM TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO INDOOR AHU, CONDENSING UNIT LOCATED IN MECHANICAL ROOM, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES.
- MD4 EXISTING COOLING TOWER TO BE DEMOLISHED INCLUDING BUT NOT LIMITED TO EXISTING ROOF DRAINAGE, POWER AND CONTROL WIRING, CONDENSATE AND MAKE-UP WATER, AND ANY ACCESSORIES. EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP PIPING TO BE DEMOLISHED AFTER IT ENTERS THE BUILDING. EXISTING SUPPLY AND RETURN CONDENSER WATER PIPING ON ROOF TO REMAIN FOR RECONNECTION INTO COOLING TOWER.
- MD5 EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6 ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.

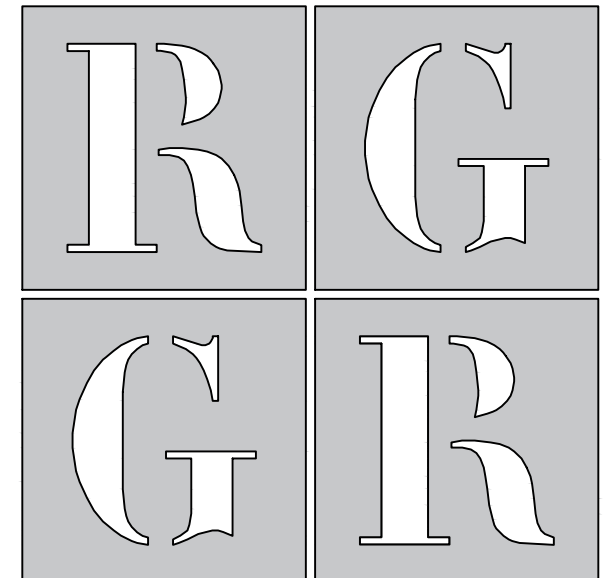


SECOND FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

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NOTICE
THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

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ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: DN/RB/GL
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SCALE: AS NOTED
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TITLE & NO.:

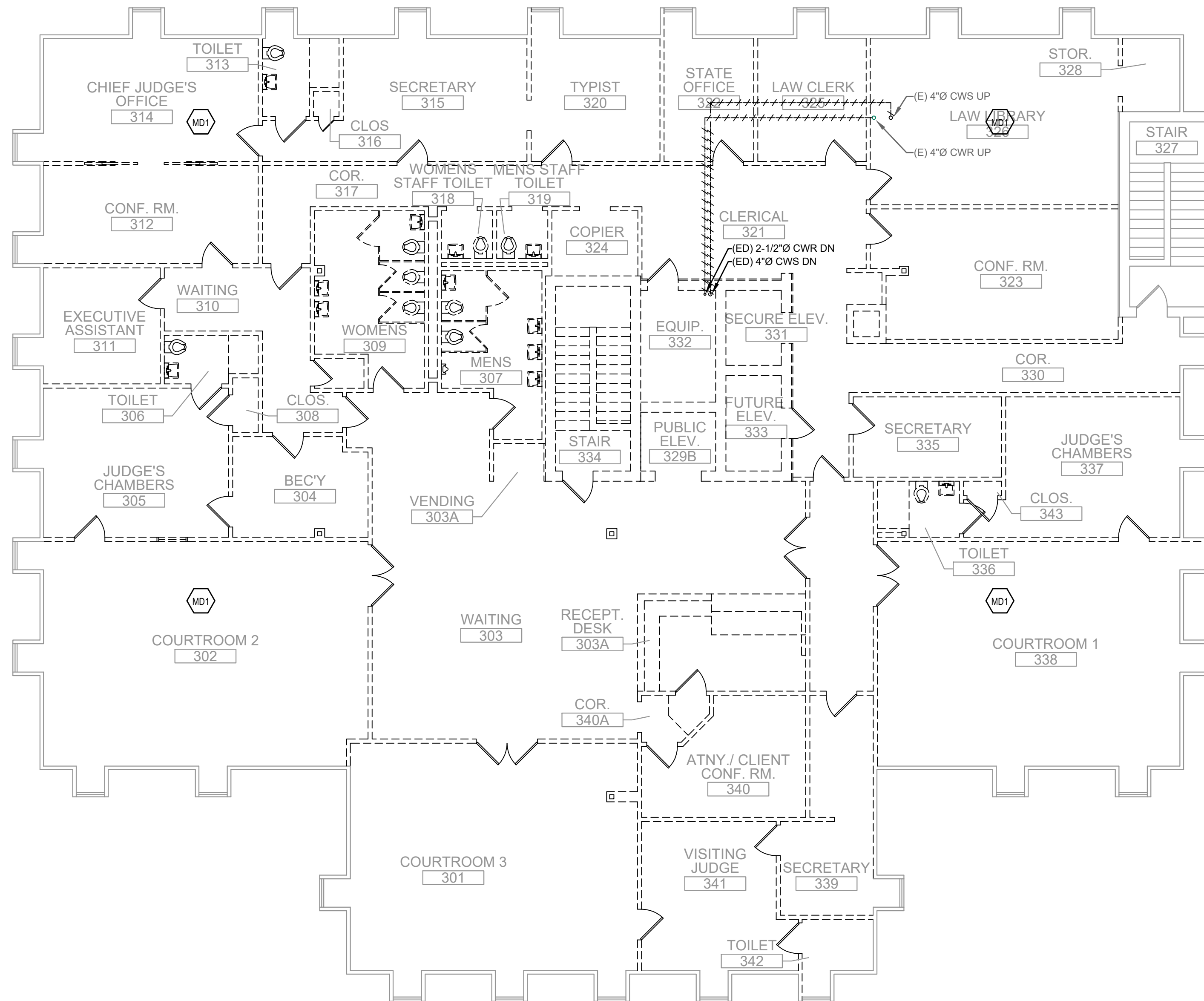
demolition
plan: second
floor-
mechanical
md.2

MECHANICAL DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
- CONTRACTOR SHALL DEMOLISH ALL EXISTING HVAC SYSTEMS IN THEIR ENTIRETY EXCEPT EXISTING BOILERS (B-1, B-2), EXISTING HOT WATER PUMPS (HWP-1, HWP-2), CHEMICAL TREATMENT PUMP (CTP-1), EXISTING WATER SOURCE HEAT PUMPS THAT ARE TO PROVIDE TEMPORARY HEAT DURING CONSTRUCTION (REFER TO PLANS), AND EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP MAINS ARE TO REMAIN. ALL BRANCH PIPING SERVING THE WATER SOURCE HEAT PUMPS ARE TO BE DEMOLISHED BACK TO THE MAIN AND CAPPED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
- ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
- GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILING AS REQUIRED BY THE ARCHITECT.
- MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

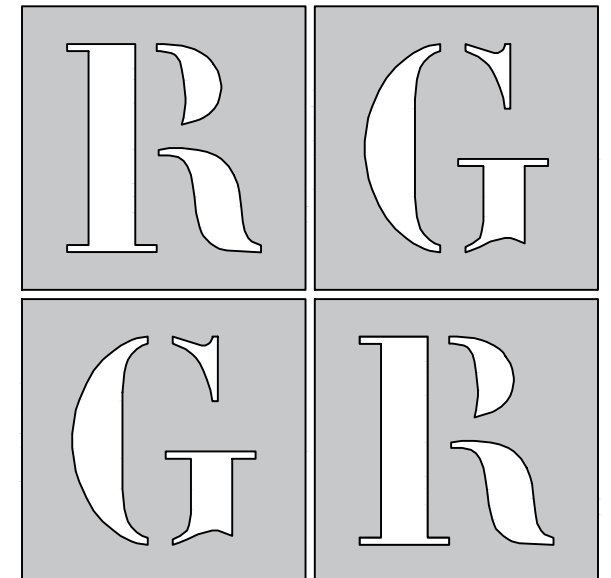
- MD1 CONTRACTOR SHALL DEMOLISH ALL EXISTING WATER SOURCE HEAT PUMPS IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR DEVICES, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES. CONTRACTOR SHALL DEMOLISH ALL ASSOCIATED HOT WATER PIPING. EXISTING CHILLED WATER PIPING TO BE DEMOLISHED BACK TO MAIN AND CAP.
- MD2 EXISTING BOILERS AND ASSOCIATED HOT WATER AND CHEMICAL TREATMENT PUMPS TO REMAIN. CONTRACTOR TO SERVICE AND MAINTAIN EXISTING BOILER SYSTEMS INCLUDING FLUSHING/DRAINING THE SYSTEM. CONTRACTOR TO PROVIDE A SERVICE REPORT TO THE OWNER. EXISTING HOT WATER PIPING TO BE CUT AND CAPPED OUTSIDE OF THE MECHANICAL ROOM. ALL ASSOCIATED PIPING WITHIN THE MECHANICAL ROOM TO REMAIN.
- MD3 EXISTING SPLIT SYSTEM TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO INDOOR AHU, CONDENSING UNIT LOCATED IN MECHANICAL ROOM, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES.
- MD4 EXISTING COOLING TOWER TO BE DEMOLISHED INCLUDING BUT NOT LIMITED TO EXISTING ROOF DUNNAGE, POWER AND CONTROL WIRING, CONDENSATE AND MAKE-UP WATER, AND ANY ACCESSORIES. EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP PIPING TO BE DEMOLISHED AFTER IT ENTERS THE BUILDING. EXISTING SUPPLY AND RETURN CONDENSER WATER PIPING ON ROOF TO REMAIN FOR RECONNECTION INTO COOLING TOWER.
- MD5 EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6 ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.



THIRD FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

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302.376.8100



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ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

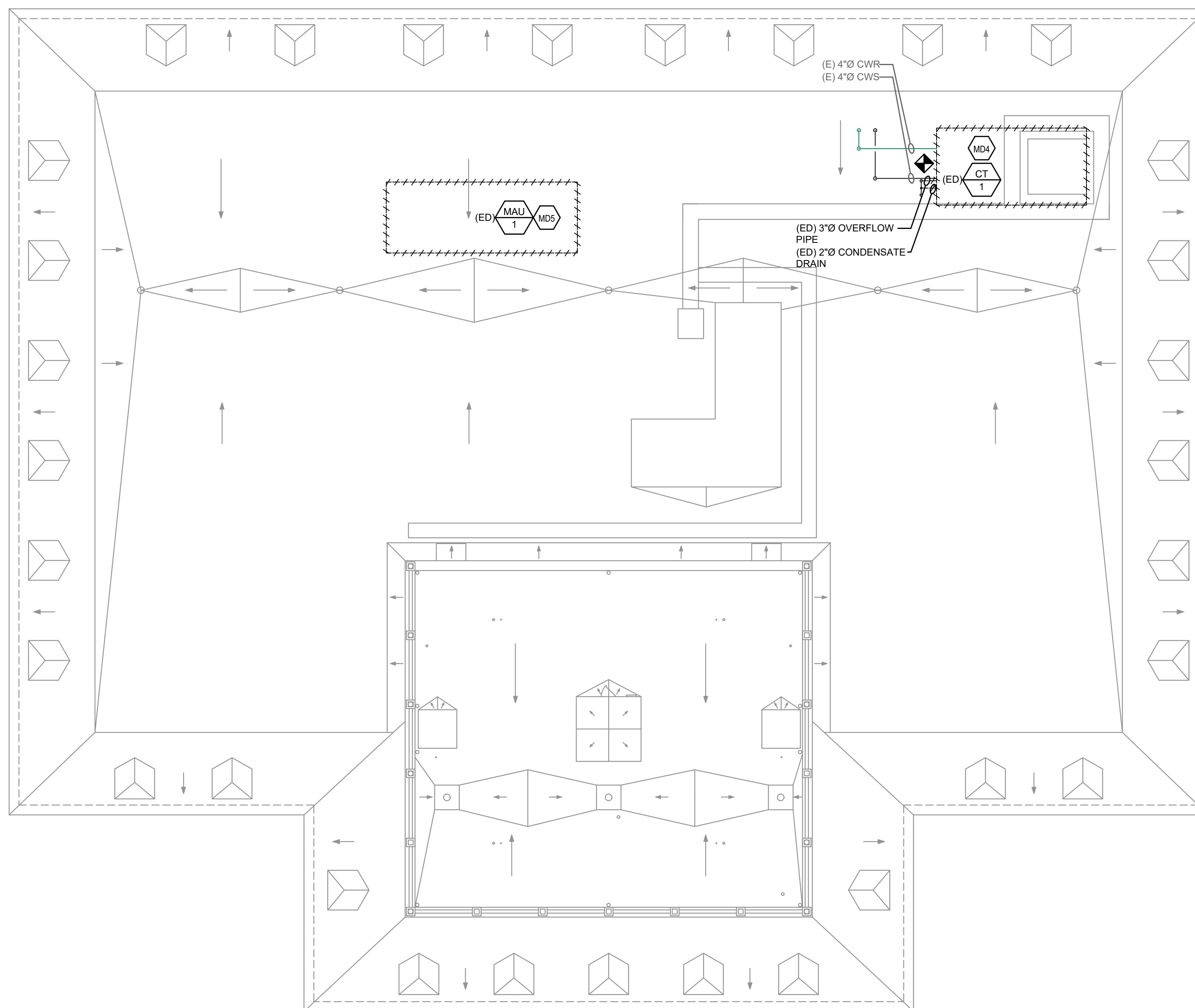
demolition
plan: third
floor-
mechanical
md.3

MECHANICAL DEMOLITION NOTES:

1. CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
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3. IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
4. ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
5. GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILINGS AS REQUIRED BY THE ARCHITECT.
6. MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

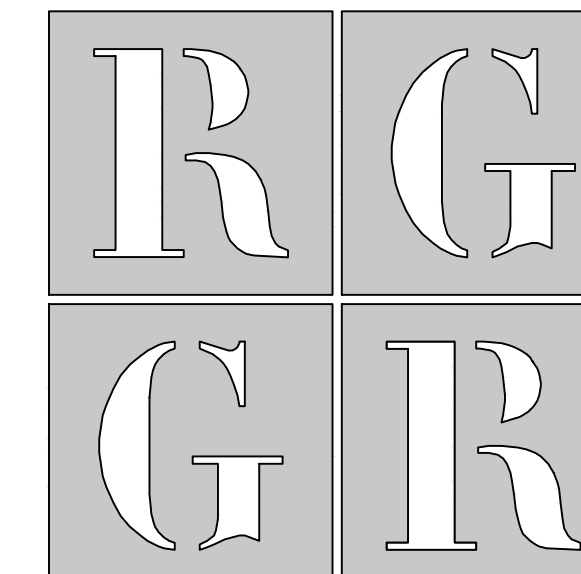
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- MD5. EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6. ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.



ROOF PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

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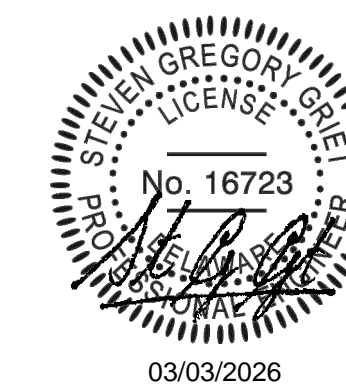
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PILOTTOWN ENGINEERING



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ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

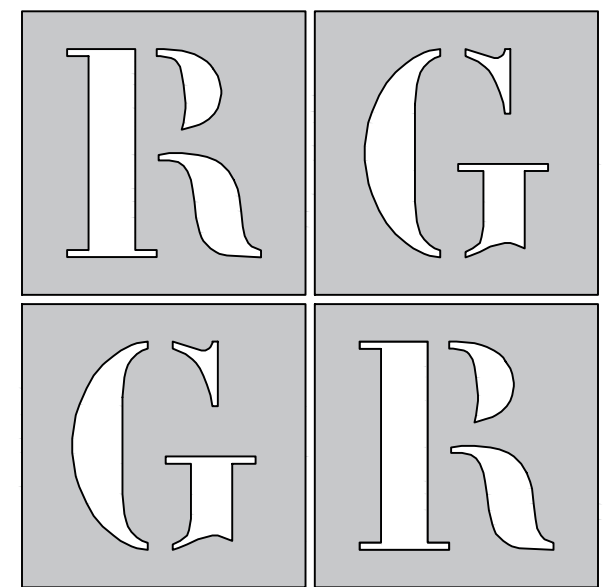
SHEET INFO:

PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

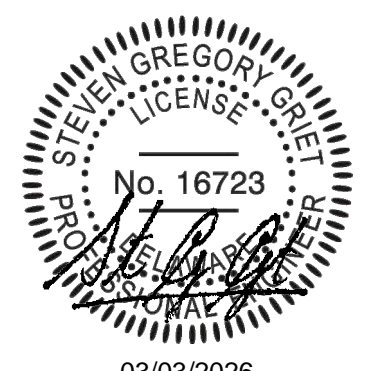
TITLE & NO.:

demolition plan: fourth floor-mechanical

md.4



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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:
 PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 first floor-
 plumbing
 pd.1

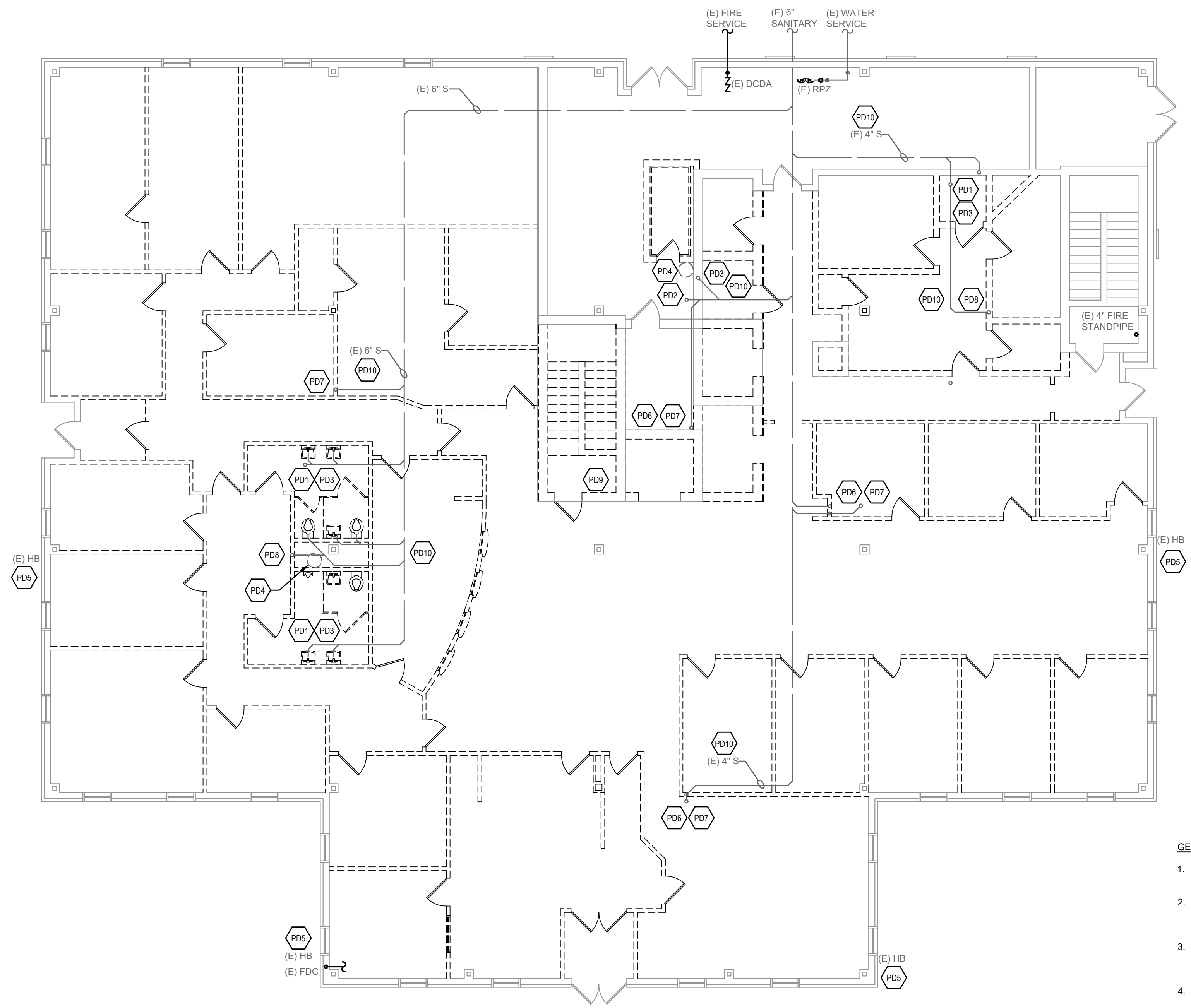
PLUMBING DEMOLITION KEYNOTES:

- PD1 THE CONTRACTOR SHALL DEMOLISH ALL THE EXISTING PLUMBING FIXTURES, FAUCETS, TRAPS, VALVES, TRIM, SUPPLIES, ETC. IN BATHROOM GROUP.
- PD2 THE CONTRACTOR SHALL DEMOLISH THE EXISTING MOP/SERVICE SINK, FAUCET AND ALL ASSOCIATED DEVICES.
- PD3 THE CONTRACTOR SHALL DEMOLISH ALL SANITARY WASTE, SANITARY VENT AND DOMESTIC HOT AND COLD WATER PIPING.
- PD4 THE CONTRACTOR SHALL DEMOLISH THE EXISTING WATER HEATER, EXPANSION TANK, BALL VALVES AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD5 THE CONTRACTOR SHALL DEMOLISH THE EXISTING HOSE BIB, DOMESTIC WATER PIPING, VALVES AND ALL ASSOCIATED DEVICES.
- PD6 THE CONTRACTOR SHALL DEMOLISH THE EXISTING HOT AND COLD DOMESTIC WATER RISERS, ISOLATION VALVES AND ALL ASSOCIATED DEVICES.
- PD7 THE CONTRACTOR SHALL DEMOLISH THE EXISTING SANITARY WASTE STACK & VENT PIPING. CONTRACTOR SHALL FIELD COORDINATE CAPPING EXISTING SANITARY BRANCH PIPING. COORDINATE WITH ROOFING CONTRACTOR TO PROPERLY SEAL ANY REMOVED VTR PENETRATIONS.
- PD8 THE CONTRACTOR SHALL DEMOLISH THE EXISTING EWC, TRAP, SUPPLY, VALVE AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD9 THE CONTRACTOR SHALL DEMOLISH THE EXISTING FIRE STANDPIPE, AND ASSOCIATED DEVICES.
- PD10 THE CONTRACTOR SHALL FIELD COORDINATE DEMO AND CAPPING OF THE EXISTING UNDERGROUND SANITARY BRANCH PIPING BACK TO THE MAIN.

SPRINKLER DEMOLITION NOTE:
 ALL WORK IS TO BE PERFORMED BY LICENSED FIRE PROTECTION CONTRACTOR. THE SPRINKLER SYSTEM SHALL BE REMOVED IN ITS ENTIRETY. COMPONENTS IN THE SERVICE ENTRANCE SHALL REMAIN. EXISTING FIRE STANDPIPE IN STAIR TOWER SHALL REMAIN DURING CONSTRUCTION.

GENERAL PLUMBING DEMOLITION NOTES:

1. EXISTING SANITARY & DOMESTIC WATER PIPING LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)
2. IT SHALL BE THE INTENTION TO REMOVE ALL EXISTING PLUMBING FIXTURES AND PLUMBING SYSTEMS IN THEIR ENTIRETY AS NOTED ON THE PLANS.
3. IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
4. ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
5. ALL DEMOLISHED SYSTEMS SHALL BE COMPLETELY REMOVED AND CLEANED LEAVING NO ABANDONED MATERIAL.
6. THE SCOPE OF PLUMBING DEMOLITION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. ALL EXISTING FIXTURES, FAUCETS, FLUSH VALVES, TRAPS, HANGERS, STOPS, ETC.
 - B. EXISTING SANITARY AND VENT PIPING AS NOTED ON PLANS. INCLUDING PIPING, HANGERS, FITTINGS, SLEEVES, ETC
 - C. EXISTING DOMESTIC WATER PIPING AS NOTED ON PLANS. INCLUDING COLD WATER, HOT WATER SUPPLY AND HOT WATER RETURN PIPING, HANGERS, FITTINGS, VALVES, WATER HEATERS, TANKS, PUMPS, CONTROLS, WIRING, SLEEVES, ETC.

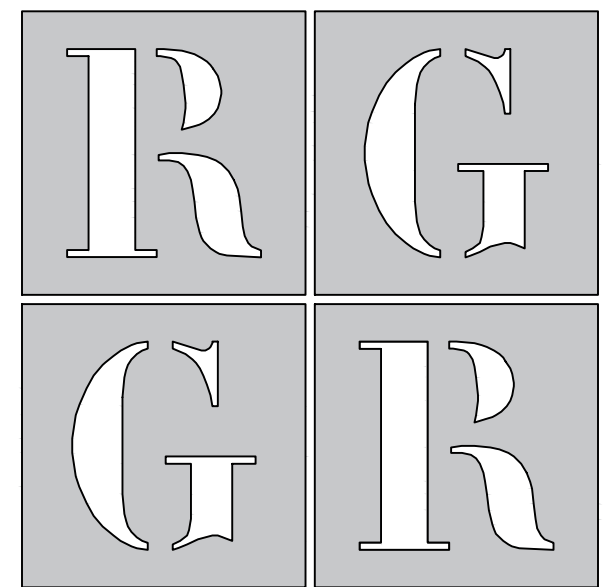


FIRST FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

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NOTICE
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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:

PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition plan:
 second floor-plumbing
 pd.2

PLUMBING DEMOLITION KEYNOTES:

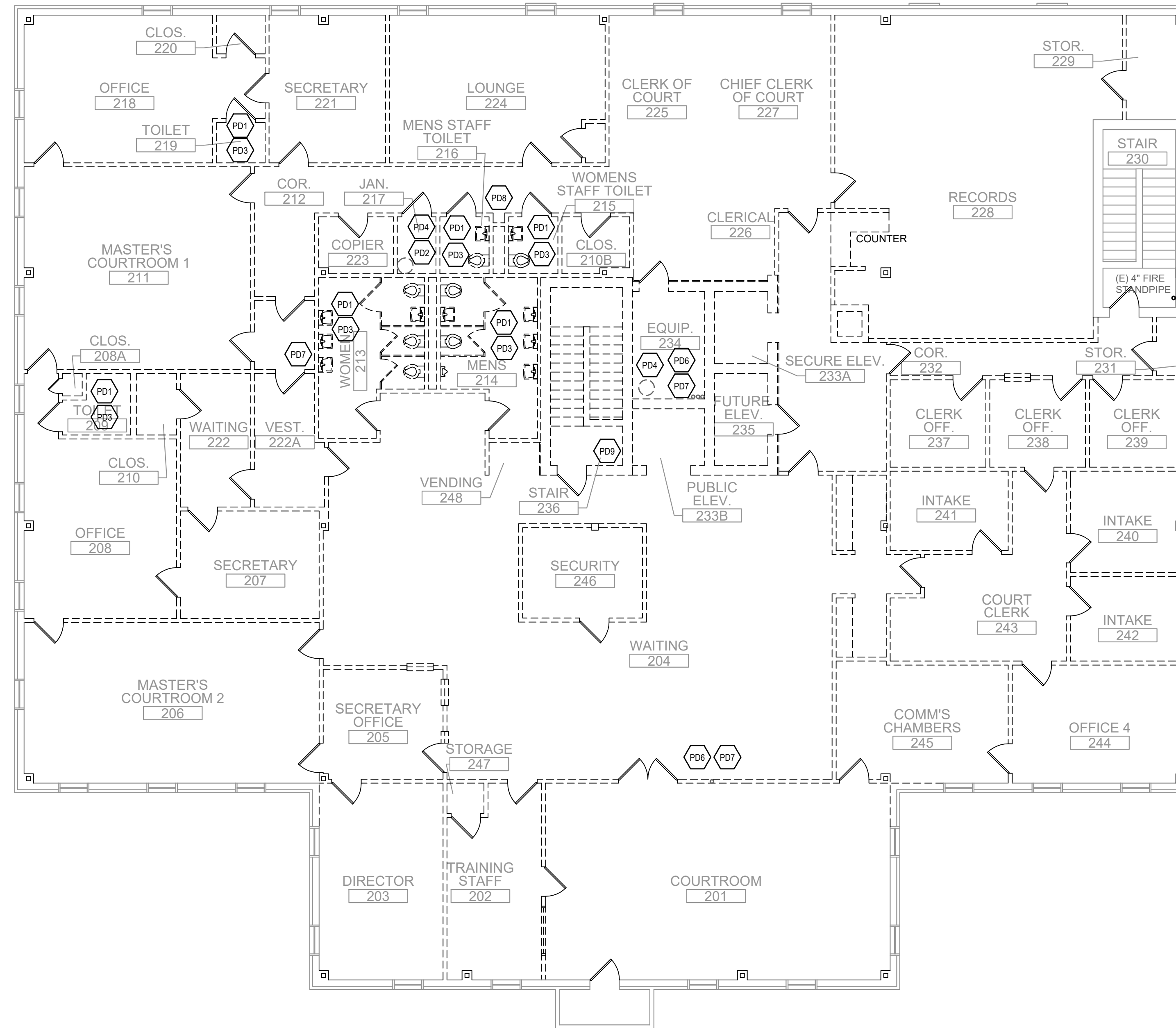
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- PD7 THE CONTRACTOR SHALL DEMOLISH THE EXISTING SANITARY WASTE STACK & VENT PIPING. CONTRACTOR SHALL FIELD COORDINATE CAPPING EXISTING SANITARY BRANCH PIPING. COORDINATE WITH ROOFING CONTRACTOR TO PROPERLY SEAL ANY REMOVED VTR PENETRATIONS.
- PD8 THE CONTRACTOR SHALL DEMOLISH THE EXISTING EWC, TRAP, SUPPLY, VALVE AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD9 THE CONTRACTOR SHALL DEMOLISH THE EXISTING FIRE STANDPIPE, AND ASSOCIATED DEVICES.
- PD10 THE CONTRACTOR SHALL FIELD COORDINATE DEMO AND CAPPING OF THE EXISTING UNDERGROUND SANITARY BRANCH PIPING BACK TO THE MAIN.

SPRINKLER DEMOLITION NOTE:

ALL WORK IS TO BE PERFORMED BY LICENSED FIRE PROTECTION CONTRACTOR. THE SPRINKLER SYSTEM SHALL BE REMOVED IN ITS ENTIRETY. COMPONENTS IN THE SERVICE ENTRANCE SHALL REMAIN. EXISTING FIRE STANDPIPE IN STAIR TOWER SHALL REMAIN DURING CONSTRUCTION.

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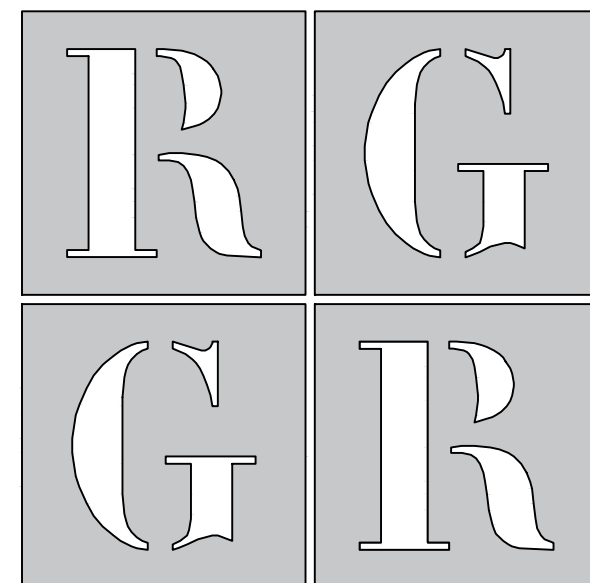
SECOND FLOOR PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:
 Old Family Courthouse -
 Interior Renovations
 Bid Package #1
 Selective Demolition

22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:
 PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 third floor-
 plumbing

pd.3

PLUMBING DEMOLITION KEYNOTES:

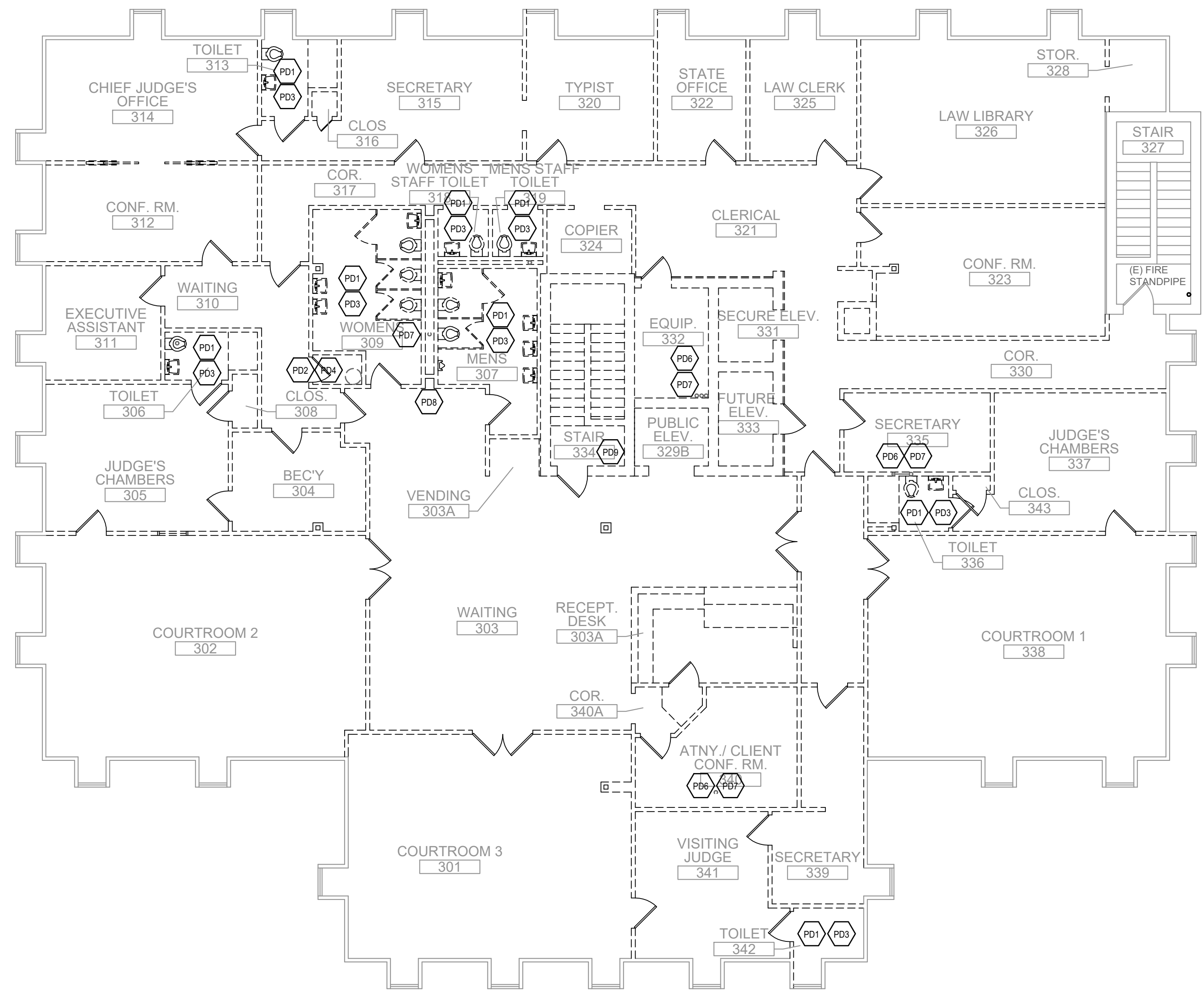
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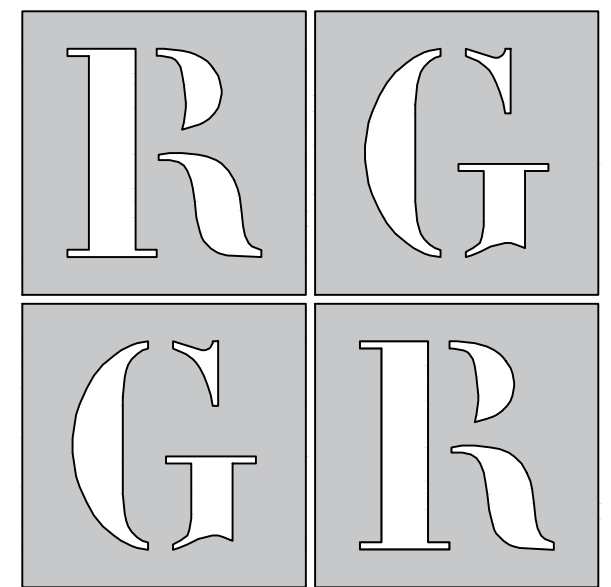


THIRD FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

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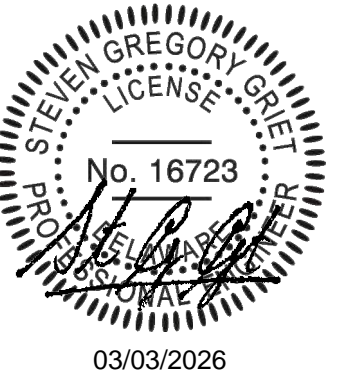
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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

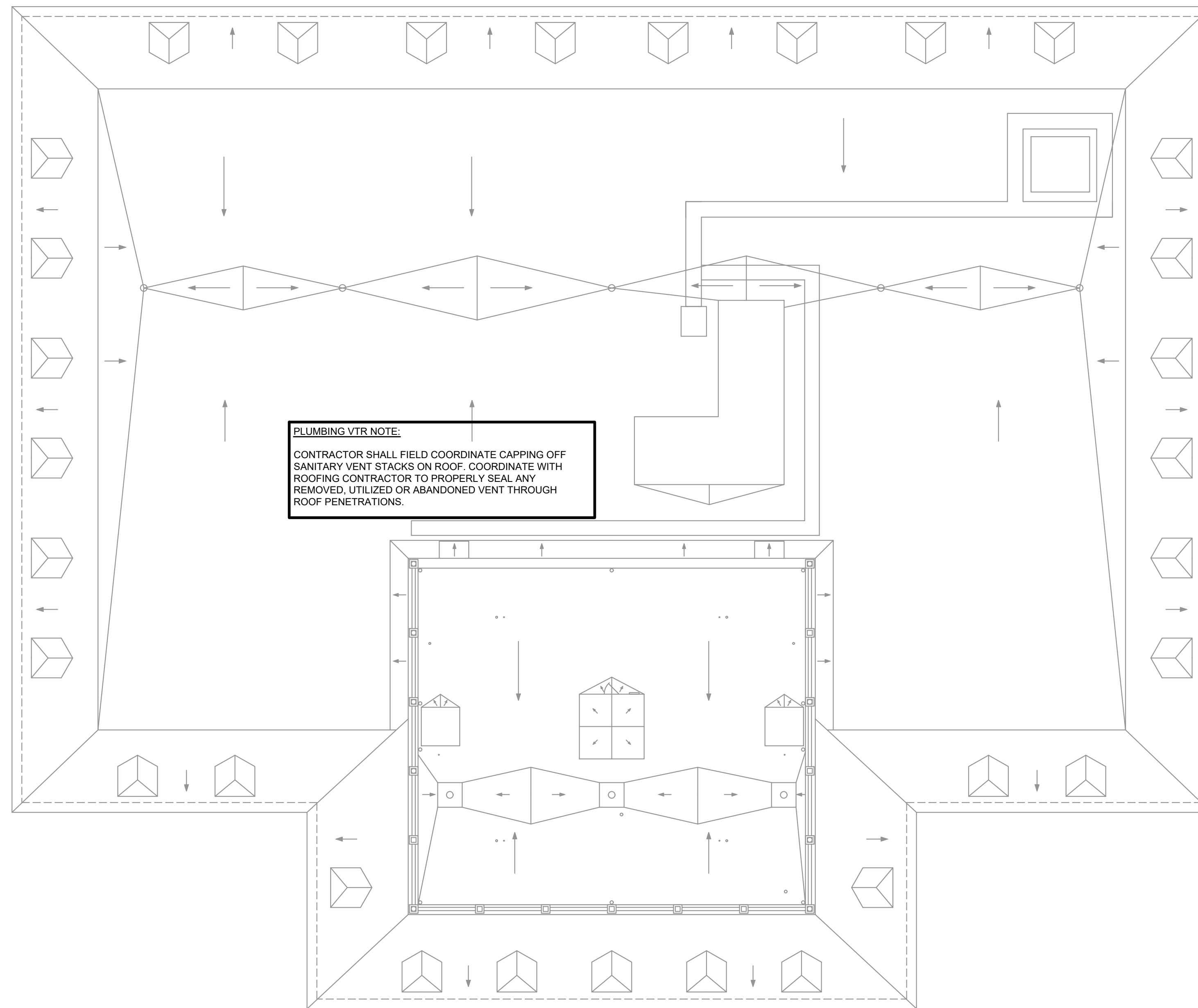
22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
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SHEET INFO:
 PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 roof-
 plumbing

pd.4



PLUMBING VTR NOTE:
 CONTRACTOR SHALL FIELD COORDINATE CAPPING OFF SANITARY VENT STACKS ON ROOF. COORDINATE WITH ROOFING CONTRACTOR TO PROPERLY SEAL ANY REMOVED, UTILIZED OR ABANDONED VENT THROUGH ROOF PENETRATIONS.

ROOF PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

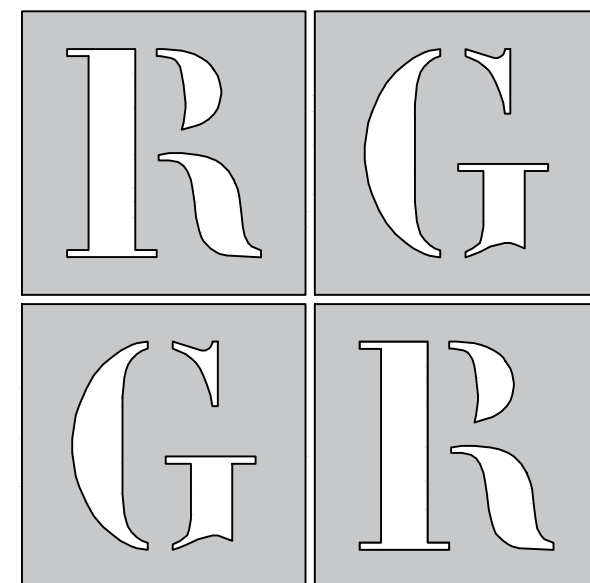
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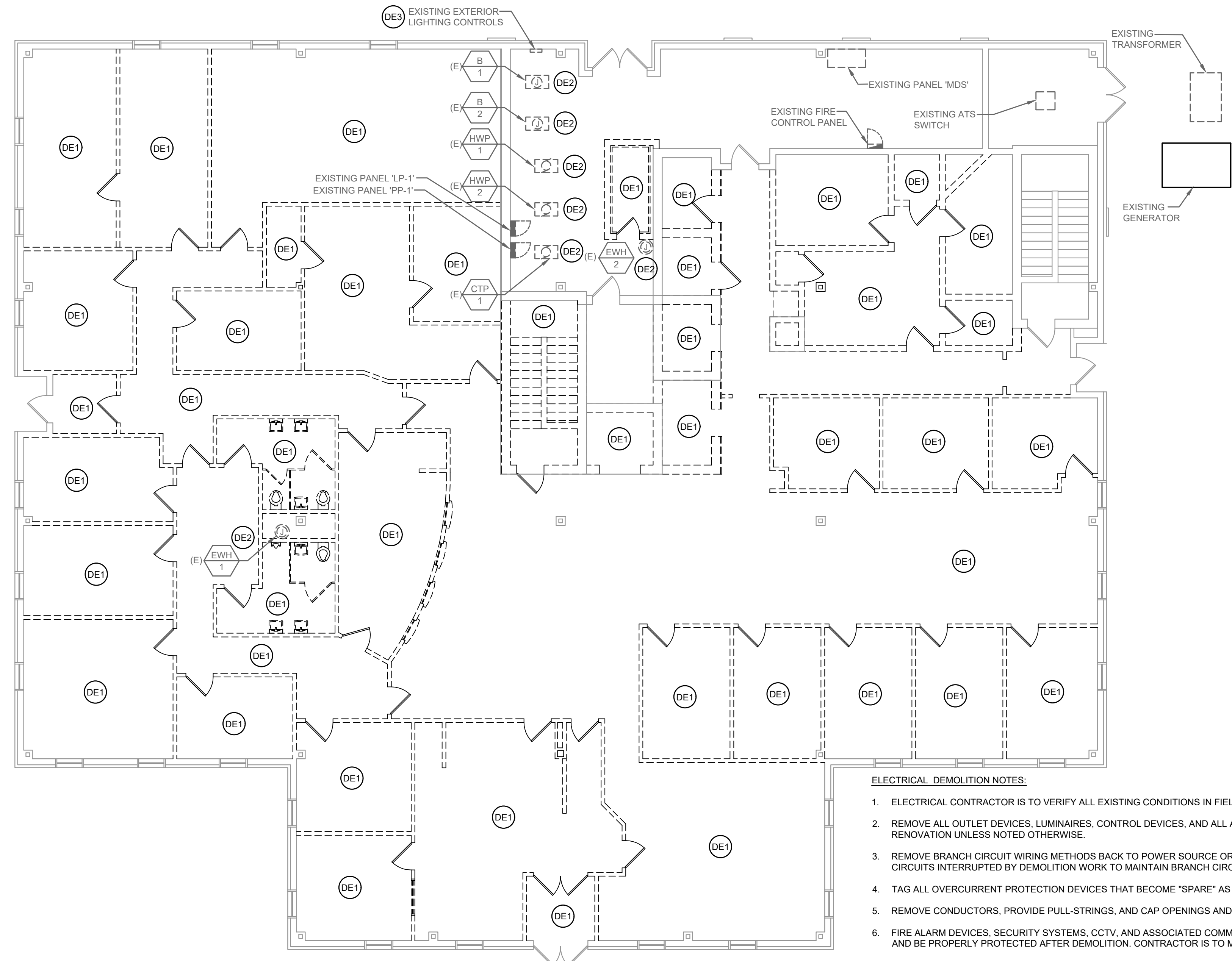
PROJECT NO: 25022
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 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 first floor-
 electrical
 ed.1

ELECTRICAL DEMOLITION DRAWING NOTES

- (DE1) UNLESS OTHERWISE NOTED, ALL EXISTING OUTLET DEVICES (LIGHTING, DATA/TELEPHONE, RECEPTACLES, ETC.) ARE TO BE REMOVED AND ALL WIRING METHODS ARE TO BE REMOVED TO THEIR POINT OF ORIGIN.
- (DE2) INDICATES EXISTING EQUIPMENT TO REMAIN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE NEW DISCONNECTING MEANS AND WIRING METHODS AS REQUIRED TO REFEED EXISTING EQUIPMENT TO TEMPORARY PANELS.
- (DE3) ENSURE ALL EXTERIOR LIGHTING AND CONTROLS ARE EXISTING TO REMAIN. PROVIDE ANY AND ALL TEMPORARY WIRING AS NEEDED.



- ELECTRICAL DEMOLITION NOTES:**
1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
 2. REMOVE ALL OUTLET DEVICES, LUMINAIRES, CONTROL DEVICES, AND ALL ASSOCIATED WIRING METHODS IN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
 3. REMOVE BRANCH CIRCUIT WIRING METHODS BACK TO POWER SOURCE OR TO ITS NEAREST ACTIVE DEVICE. RE-ENERGIZE ALL CIRCUITS INTERRUPTED BY DEMOLITION WORK TO MAINTAIN BRANCH CIRCUIT CONTINUITY.
 4. TAG ALL OVERCURRENT PROTECTION DEVICES THAT BECOME "SPARE" AS A RESULT OF DEMOLITION WORK.
 5. REMOVE CONDUCTORS, PROVIDE PULL-STRINGS, AND CAP OPENINGS AND CONDUITS THAT ARE NOT TO BE RE-USED.
 6. FIRE ALARM DEVICES, SECURITY SYSTEMS, CCTV, AND ASSOCIATED COMMUNICATION SYSTEMS ARE TO REMAIN IN OPERATION AND BE PROPERLY PROTECTED AFTER DEMOLITION. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
 7. ALL POWER SHUTDOWNS ARE TO BE SCHEDULED AND COORDINATED WITH OWNER.
 8. IT IS THE INTENT TO REMOVE ALL ELECTRICAL DEVICES WHICH INTERFERE WITH THE NEW CONSTRUCTION WORK OR DEMOLITION WORK WHETHER SPECIFICALLY IDENTIFIED OR NOT.
 9. PANEL 'LP-1' AND 'PP-1' ARE EXISTING TO REMAIN FOR TEMPORARY USE DURING CONSTRUCTION. IT IS THE INTENT TO REMOVE THESE PANELS ALONG WITH ALL ASSOCIATED WIRING AND REPLACE THEM AT THE END OF CONSTRUCTION.
 10. IT IS THE INTENT THAT ALL EXTERIOR SITE LIGHTING AND ASSOCIATED CONTROLS ARE EXISTING TO REMAIN. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
 11. ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

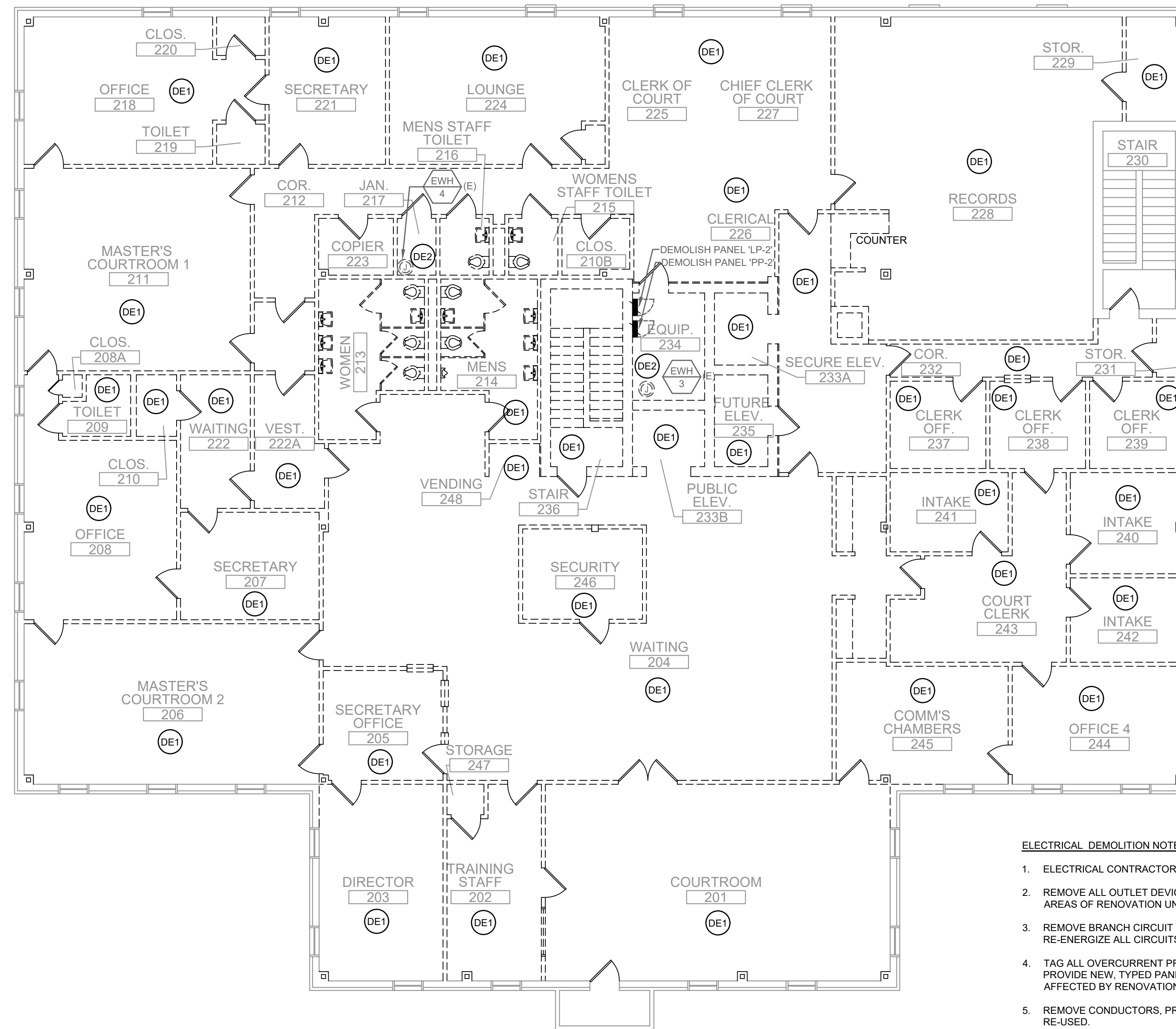
FIRST FLOOR PLAN - DEMOLITION
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- DE2 INDICATES EXISTING EQUIPMENT TO REMAIN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE NEW DISCONNECTING MEANS AND WIRING METHODS AS REQUIRED TO REFEED EXISTING EQUIPMENT TO TEMPORARY PANELS.



SECOND FLOOR PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

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1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
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4. TAG ALL OVERCURRENT PROTECTION DEVICES THAT BECOME "SPARE" AS A RESULT OF DEMOLITION WORK. PROVIDE NEW, TYPED PANELBOARD DIRECTORIES FOR ALL DISTRIBUTION AND BRANCH CIRCUIT EQUIPMENT AFFECTED BY RENOVATION WORK.
5. REMOVE CONDUCTORS, PROVIDE PULL-STRINGS, AND CAP OPENINGS AND CONDUITS THAT ARE NOT TO BE RE-USED.
6. FIRE ALARM DEVICES, SECURITY SYSTEMS, CCTV, AND ASSOCIATED COMMUNICATION SYSTEMS ARE TO REMAIN IN OPERATION AND BE PROPERLY PROTECTED AFTER DEMOLITION. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
7. ALL POWER SHUTDOWNS ARE TO BE SCHEDULED AND COORDINATED WITH OWNER.
8. IT IS THE INTENT TO REMOVE ALL ELECTRICAL DEVICES WHICH INTERFERE WITH THE NEW CONSTRUCTION WORK OR DEMOLITION WORK WHETHER SPECIFICALLY IDENTIFIED OR NOT.
9. ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

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ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19-08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

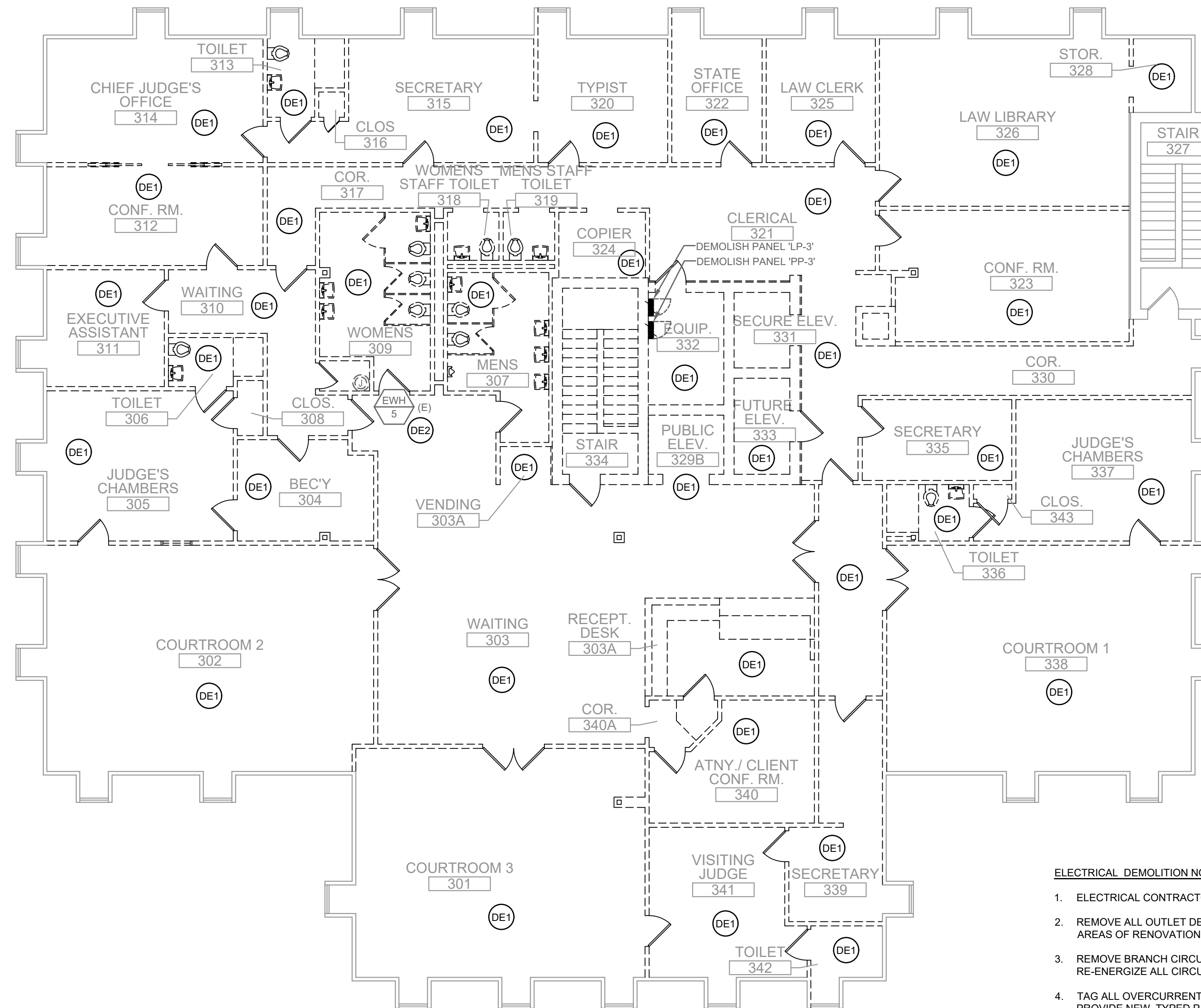
Copyright - R G Architects - 2026

demolition plan: second floor-electrical

ed.2

ELECTRICAL DEMOLITION DRAWING NOTES

- DE1 UNLESS OTHERWISE NOTED, ALL EXISTING OUTLET DEVICES (LIGHTING, DATA/TELEPHONE, RECEPTACLES, ETC.) ARE TO BE REMOVED AND ALL WIRING METHODS ARE TO BE REMOVED TO THEIR POINT OF ORIGIN.
- DE2 INDICATES EXISTING EQUIPMENT TO REMAIN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE NEW DISCONNECTING MEANS AND WIRING METHODS AS REQUIRED TO REFEED EXISTING EQUIPMENT TO TEMPORARY PANELS.



THIRD FLOOR PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

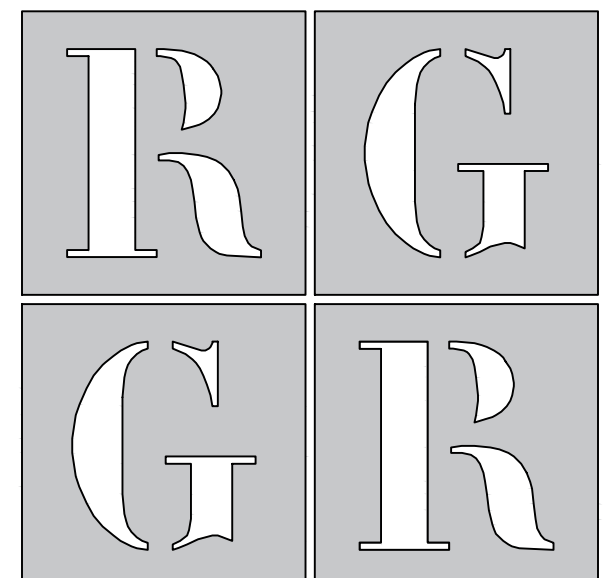
ELECTRICAL DEMOLITION NOTES:

1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
2. REMOVE ALL OUTLET DEVICES, LUMINAIRES, CONTROL DEVICES, AND ALL ASSOCIATED WIRING METHODS IN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
3. REMOVE BRANCH CIRCUIT WIRING METHODS BACK TO POWER SOURCE OR TO ITS NEAREST ACTIVE DEVICE. RE-ENERGIZE ALL CIRCUITS INTERRUPTED BY DEMOLITION WORK TO MAINTAIN BRANCH CIRCUIT CONTINUITY.
4. TAG ALL OVERCURRENT PROTECTION DEVICES THAT BECOME "SPARE" AS A RESULT OF DEMOLITION WORK. PROVIDE NEW, TYPED PANELBOARD DIRECTORIES FOR ALL DISTRIBUTION AND BRANCH CIRCUIT EQUIPMENT AFFECTED BY RENOVATION WORK.
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9. ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

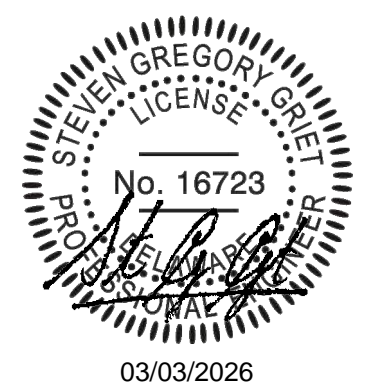
THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

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ARCHITECTS
R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100



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ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

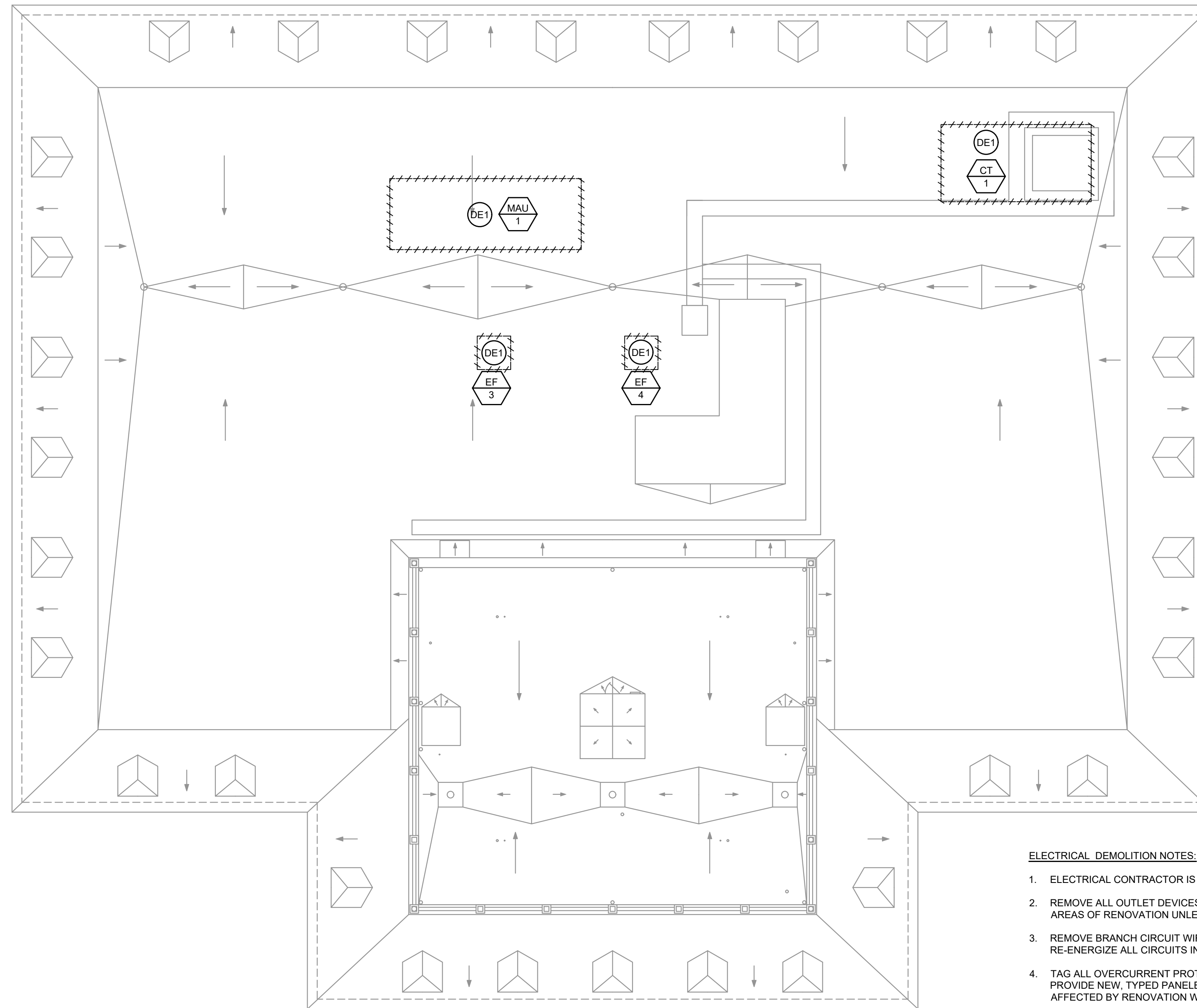
PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

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demolition plan: third floor-electrical ed.3

ELECTRICAL DEMOLITION DRAWING NOTES

(DE1) UNLESS OTHERWISE NOTED, ALL EXISTING DEVICES ARE TO BE REMOVED AND ALL WIRING METHODS ARE TO BE REMOVED TO THEIR POINT OF ORIGIN.



ROOF PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

ELECTRICAL DEMOLITION NOTES:

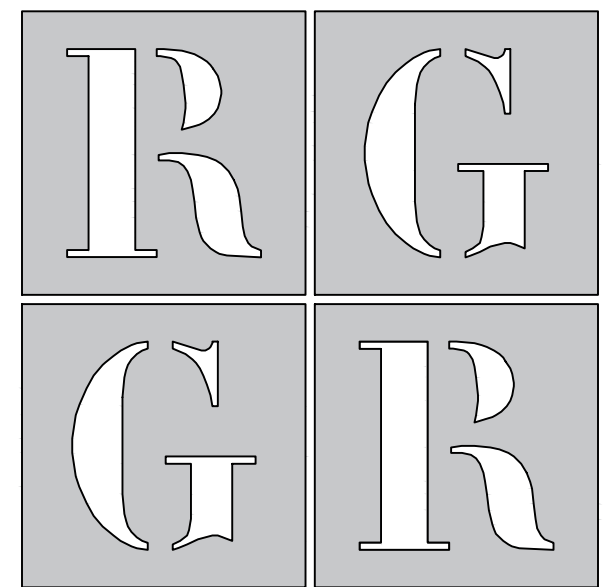
1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
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R G ARCHITECTS
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302.376.8100



PILOTTOWN ENGINEERING



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BID 27 FEBRUARY 2026

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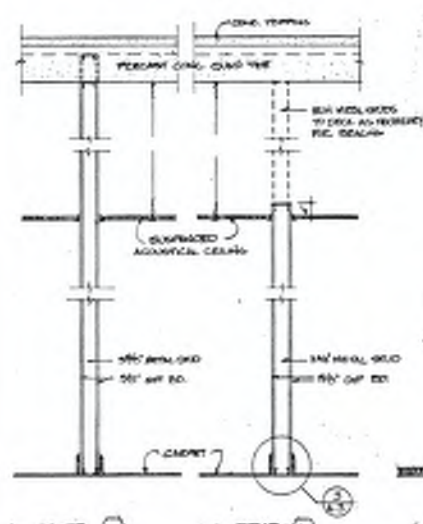
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DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

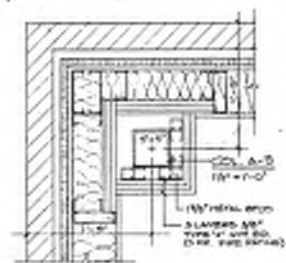
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demolition plan: roof - electrical

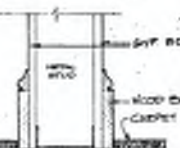
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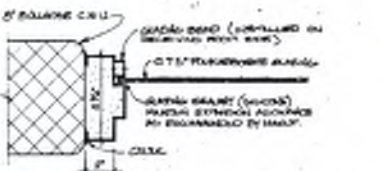
PARTITION SECTIONS
3/4" x 11'-0"



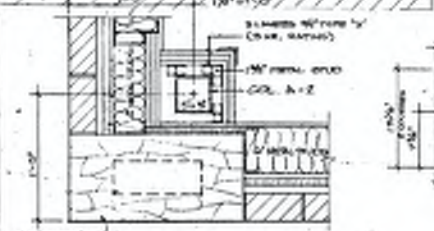
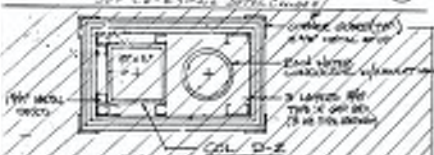
DETAIL A
3/4" x 11'-0"



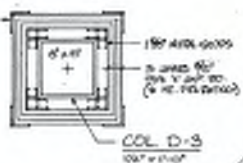
DETAIL B
3/4" x 11'-0"



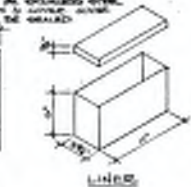
DETENTION VIEW WINDOW DETAIL
3/4" x 11'-0"



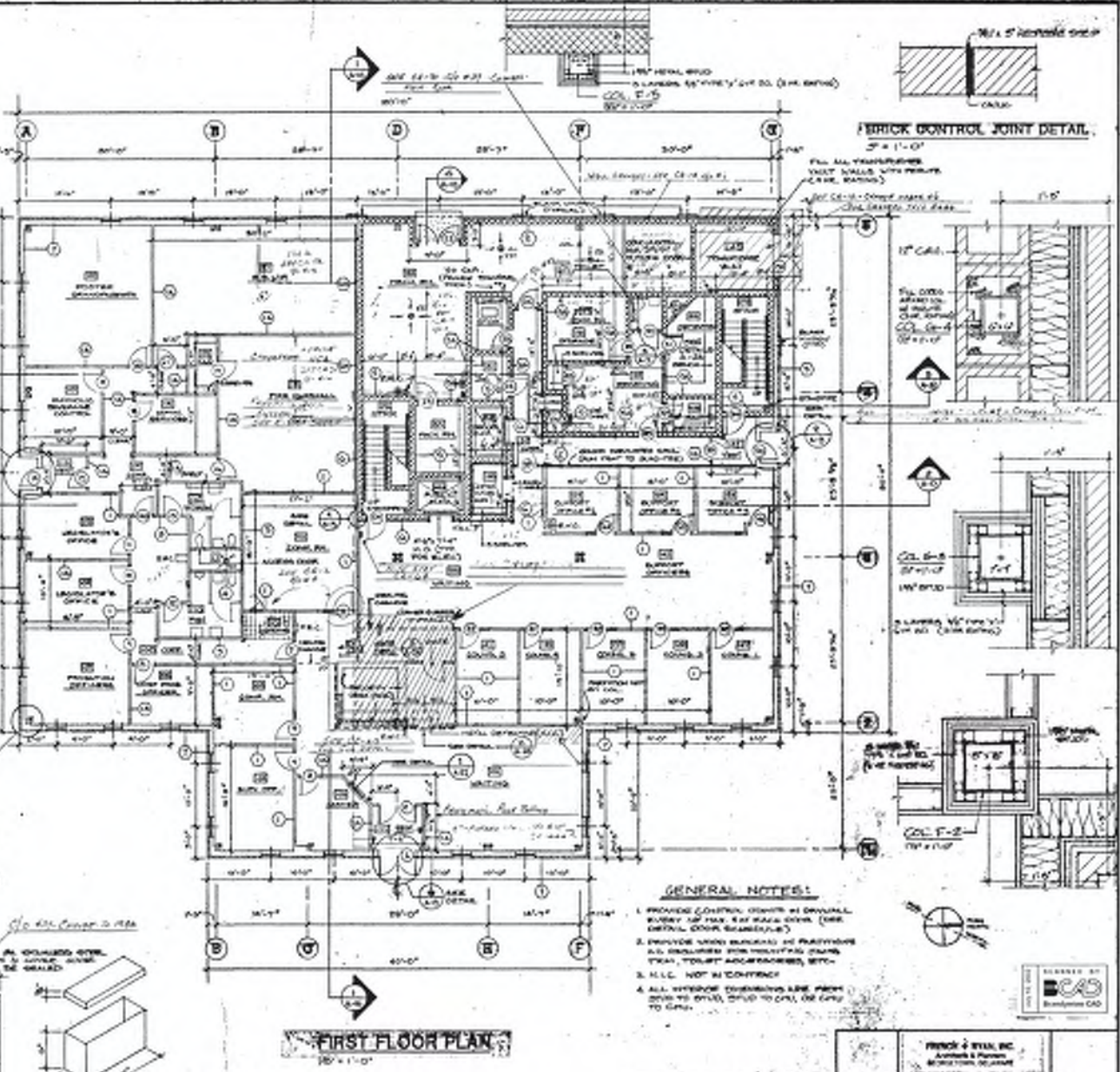
SECTION



CORNER STONE DETAIL
3/4" x 11'-0"



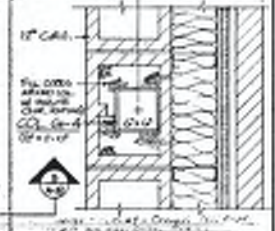
LINES



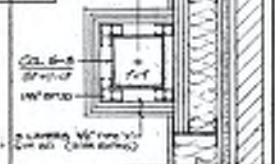
FIRST FLOOR PLAN
30' x 11'-0"

- LEGEND:**
- GYPSUM PARTITION
 - METAL STUD PARTITION
 - METAL STUD PARTITION w/ BRICK VENEER
 - SOUND INSULATED PARTITION

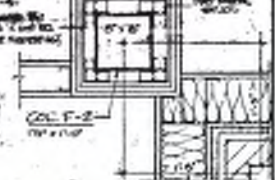
BRICK CONTROL JOINT DETAIL
3/4" x 11'-0"



BRICK CONTROL JOINT DETAIL
3/4" x 11'-0"



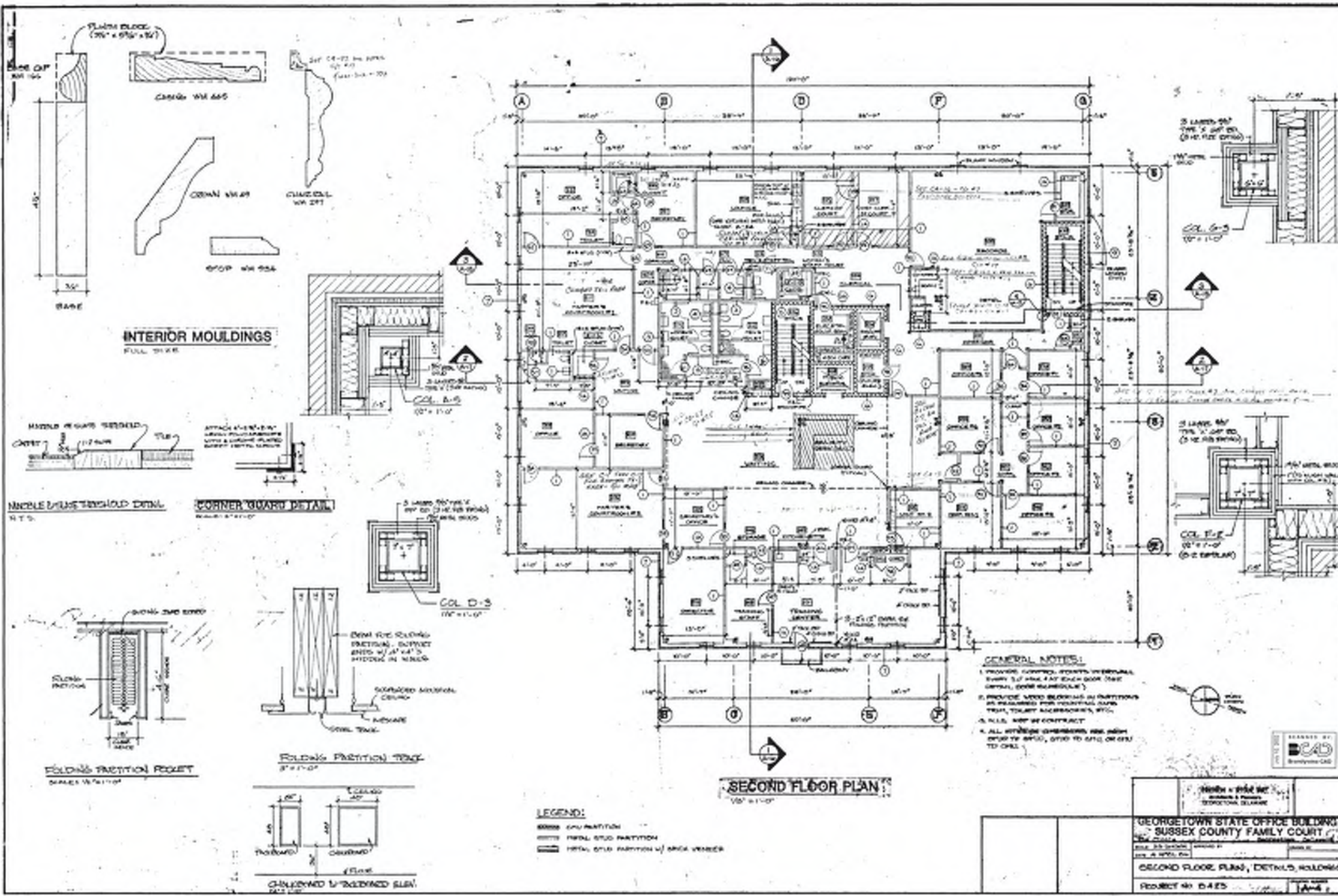
DETAIL C
3/4" x 11'-0"



DETAIL D
3/4" x 11'-0"

- GENERAL NOTES:**
1. PROVIDE CONTROL JOINTS IN EXTERIOR WALLS AT 16'-0" MAX. SEE WALL DETAIL (SEE DETAIL, OTHER SHEETS).
 2. PROVIDE VENEER BRICKS IN EXTERIOR WALLS. ALL EXTERIOR WALLS SHALL BE FINISHED WITH TOLUET ACACRYLUM, ETC.
 3. N.E.C. NOT IN CONFLICT.
 4. ALL EXTERIOR EXTERIORS ARE FROM 2005 IBC, UNLESS OTHERWISE NOTED TO CONTR.

PREPARED BY 	
FRICK & STELL, INC. ARCHITECTS & PLANNERS 1000 N. 10TH ST. PHILADELPHIA, PA 19107-3200	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 1000 N. 10TH ST. PHILADELPHIA, PA 19107-3200	
FIRST FLOOR PLAN, SECTIONS, DETAILS	
PROJECT NO. 04273	SHEET NO. A-3



INTERIOR MOULDINGS
FULL SCALE

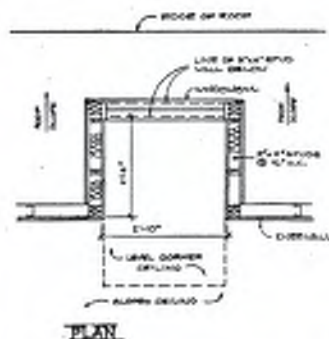
CORNER GUARD DETAIL
SCALE 1/4" = 1'-0"

SECOND FLOOR PLAN
1/8" = 1'-0"

LEGEND:
 [Symbol] GLASS PARTITION
 [Symbol] FULL GLASS PARTITION
 [Symbol] FULL GLASS PARTITION w/ BRICK VENEER

- GENERAL NOTES:**
1. PROVIDE CORNER GUARD OVERLAP EVERY 5'-0" MAX. AT EACH CORNER (SEE DETAIL, CORNER GUARD).
 2. PROVIDE LATCH MECHANISM IN PARTITIONS AS REQUIRED FOR FUNCTIONAL USE, TEST, TIGHT ENCLOSURE, ETC.
 3. ALL WIP BY CONTRACT.
 4. ALL WINDOW OPERATIONS ARE WITH UP TO DOWN, DOWN TO UP OR UP TO DOWN.

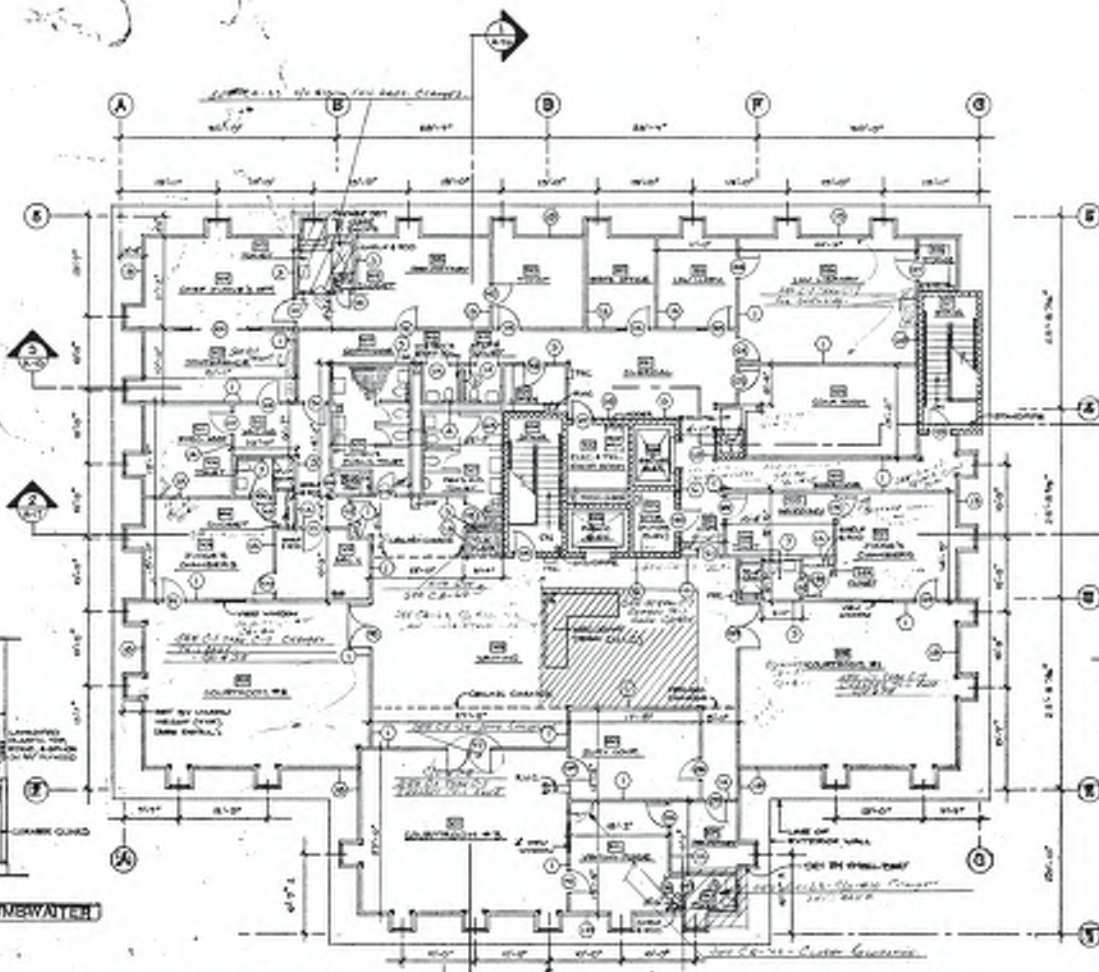
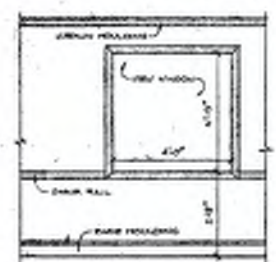
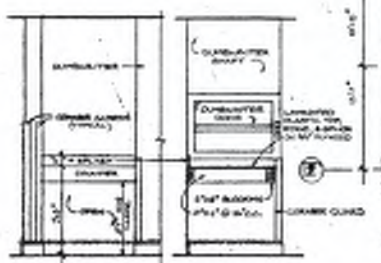
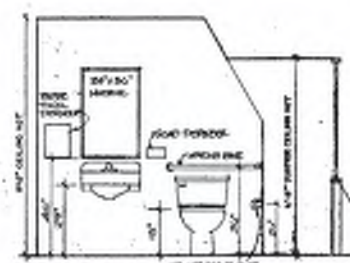
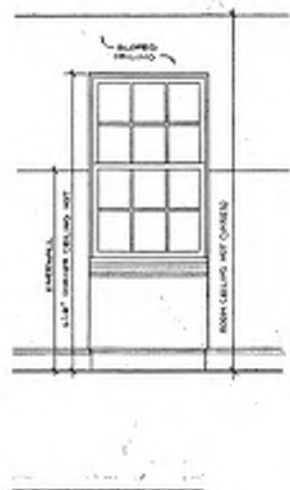
DRAWN BY [Signature] CHECKED BY [Signature]	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 1000 MARKET STREET GEORGETOWN, DELAWARE	
SECOND FLOOR PLAN, DETAILS FOLLOWING	PROJECT NO. D-425



PLAN

DORMER DETAILS

SCALE: 1/4" = 1'-0"



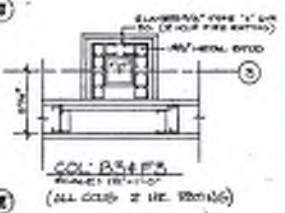
NOTE: PROVIDE SINK, TUB & CUPBDS FOR ALL BATHS.

LEGEND:

- ===== GYM PARTITION
- ===== METAL GRID PARTITION
- ===== METAL GRID PARTITION W/ BRICK VENEER

GENERAL NOTES:

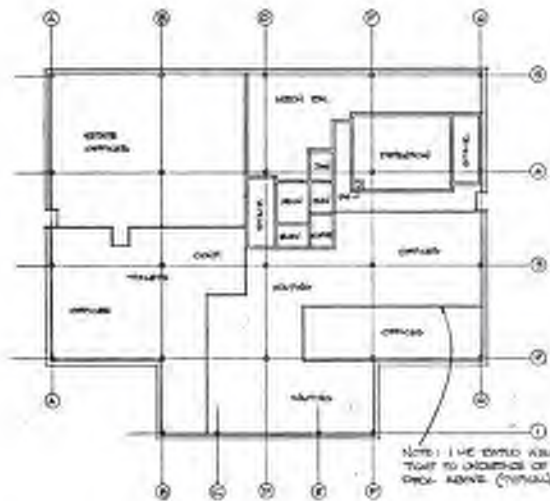
1. PROVIDE COFFER, JOIST, OR CORRAL EVERY 20" MAX. EAT EACH CASE (SEE OFFICE DOOR SCHEDULE)
2. PROVIDE LIGN BLOCKING BY PARTITIONS AS REQUIRED FOR FLOORING (SEE TRIM, TRIMLET APPROPRIATE, WFL)
3. N.L.C. NOT IN CONTRACT
4. SURFACE DIMENSIONS ARE FROM FINISH TO FINISH UNLESS OTHERWISE NOTED



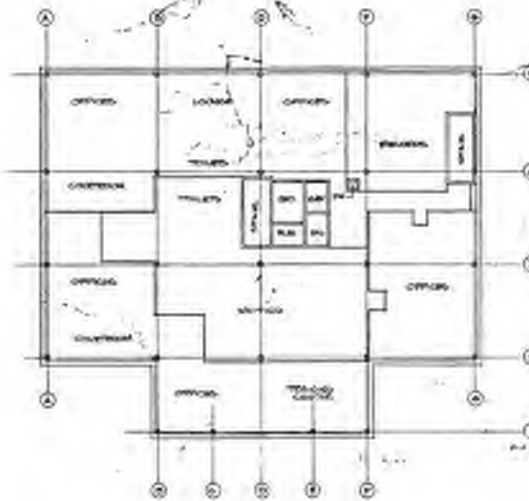
FRENCH & SYKES, INC. ARCHITECTS & ENGINEERS 1000 N. MARKET STREET PHILADELPHIA, PA. 19107	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 1000 N. MARKET STREET GEORGETOWN, DE. 19620	
THIRD FLOOR PLAN, ELEVATIONS, DETAILS	PROJECT NO. 8425

FIRE SEPARATION PLANS

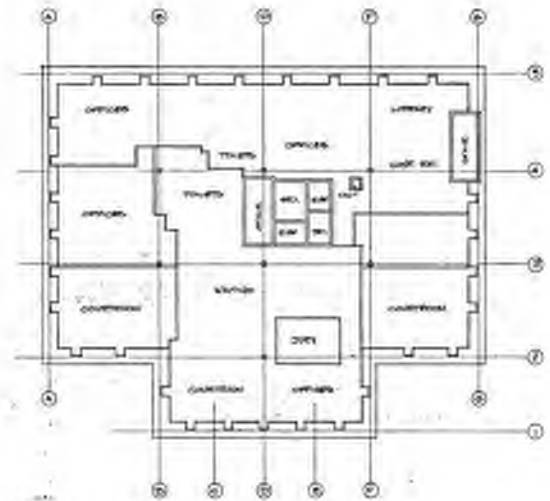
1/16" = 1'-0"



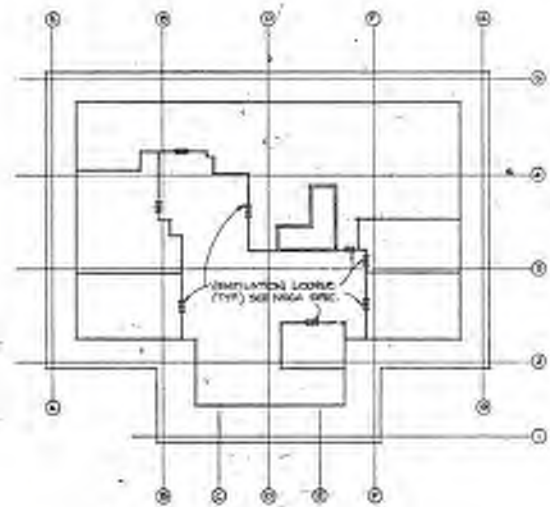
FIRST FLOOR



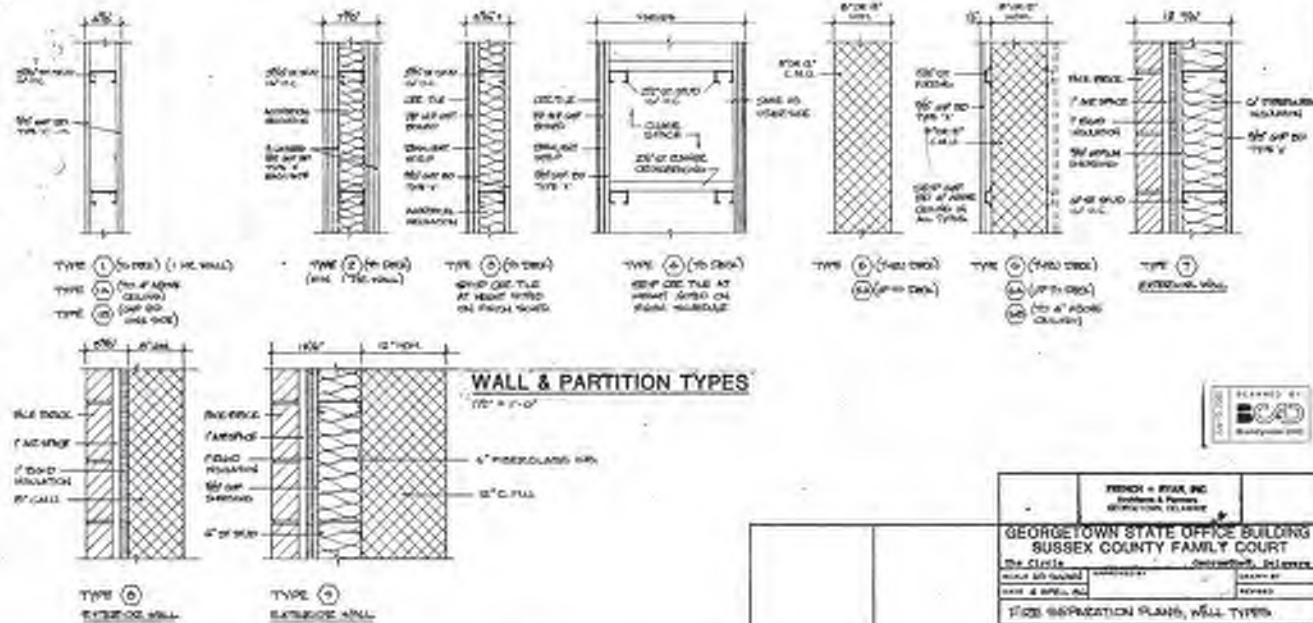
SECOND FLOOR



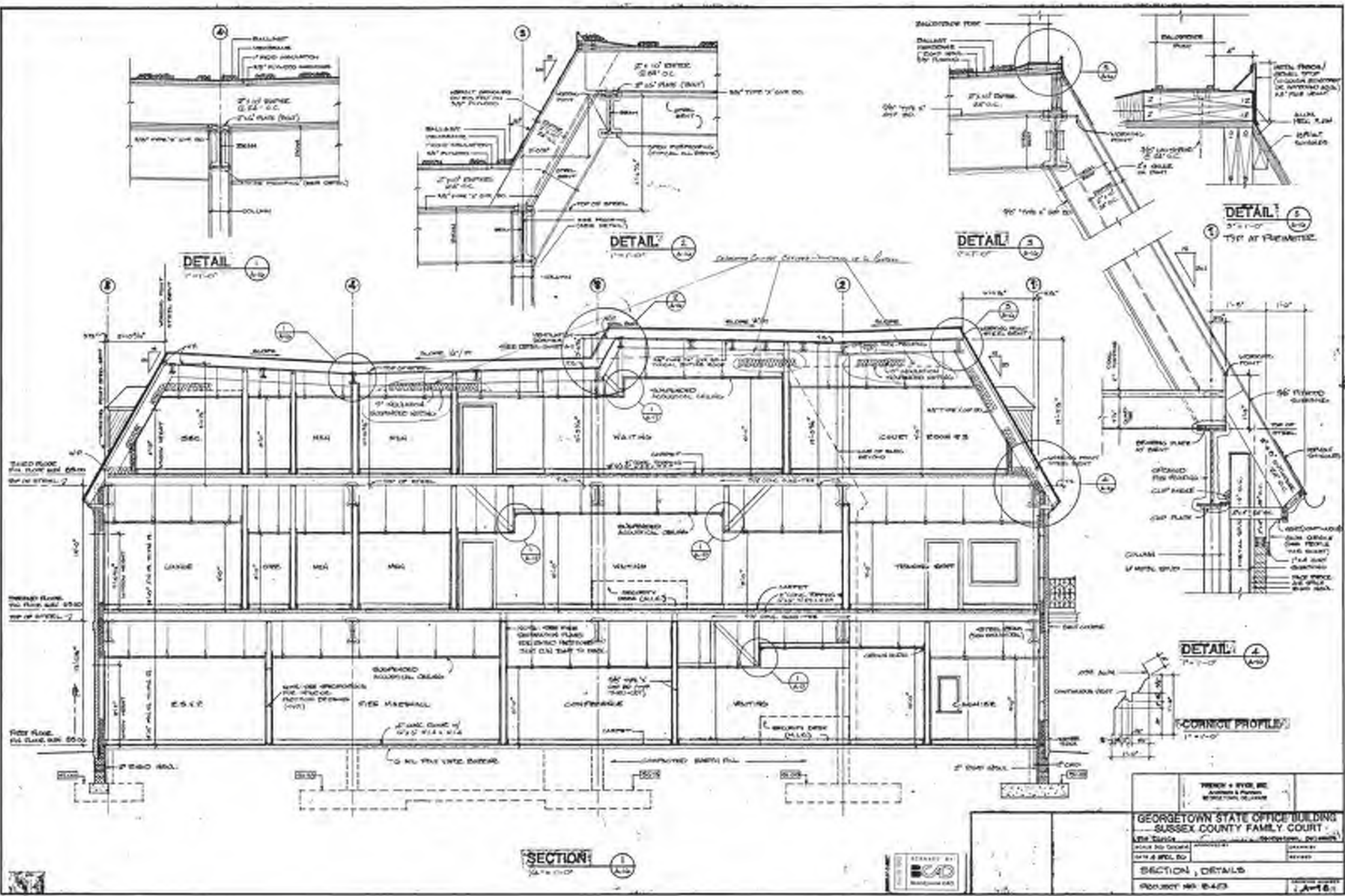
THIRD FLOOR



ATTIC SPACE

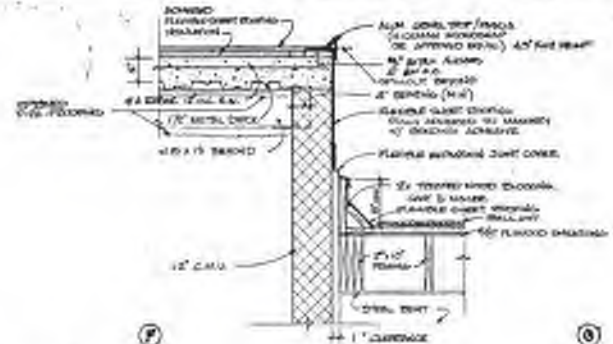


FRENCH & EVANS, INC. Architects & Planners WASHINGTON, DISTRICT OF COLUMBIA	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT	
PROJECT NO. 10-25	DATE: 10/1/80
SCALE: AS SHOWN	BY: [Signature]
FIRE SEPARATION PLANS, WALL TYPES	
PROJECT NO. 10-25	DATE: 10/1/80

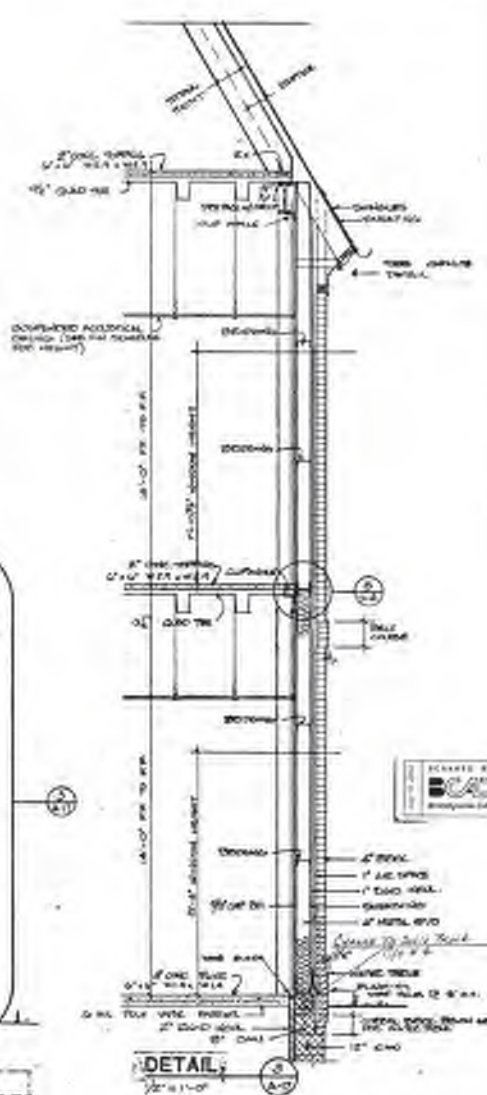




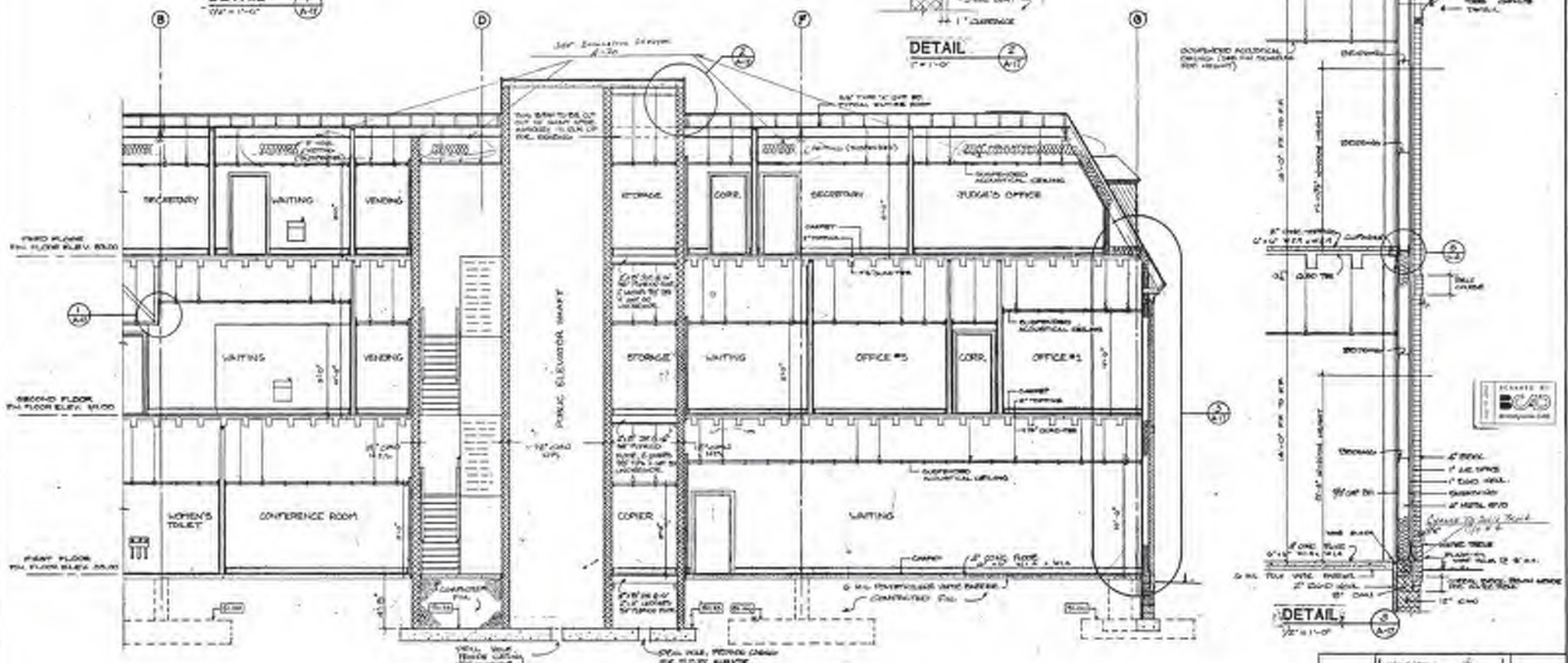
TOP ALL CEILING CHANGES
DETAIL 1
 1/2" x 1'-0"



DETAIL 2
 1/2" x 1'-0"

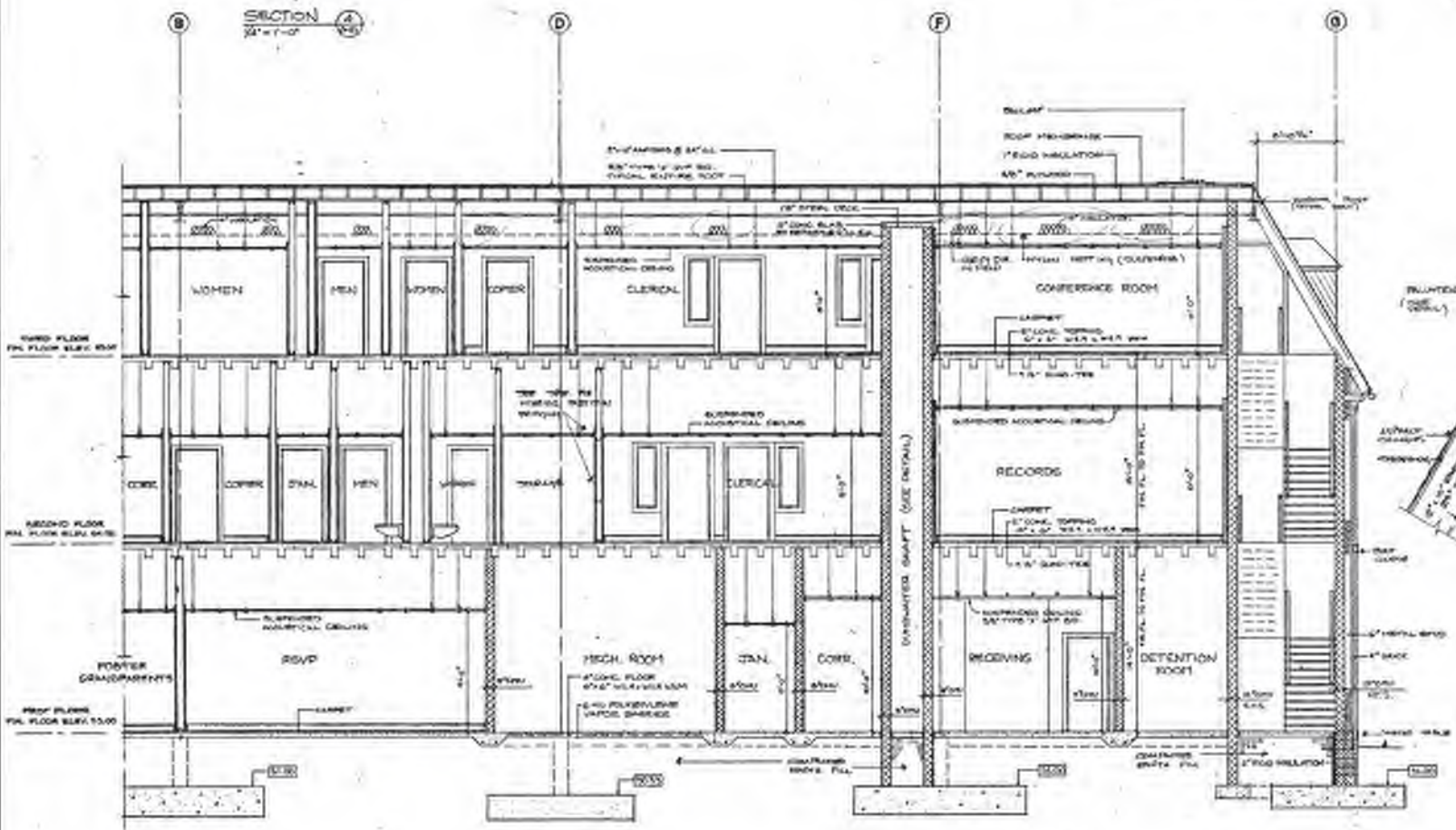
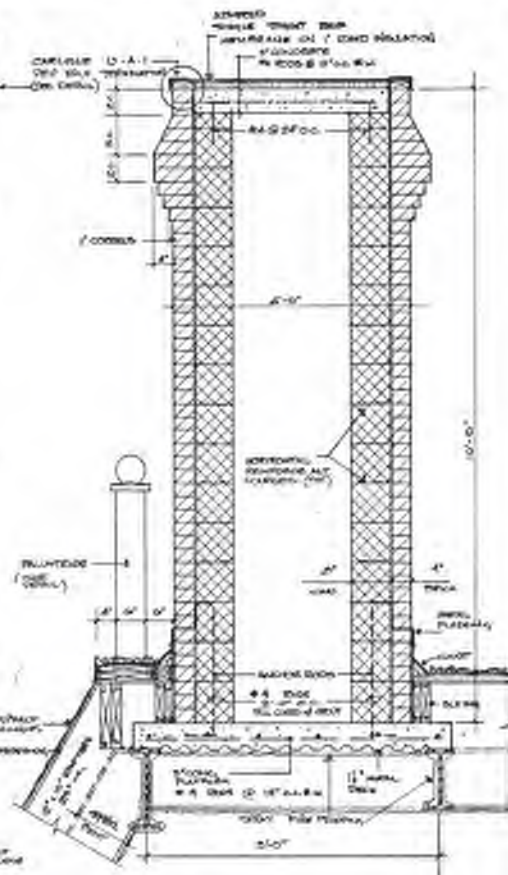
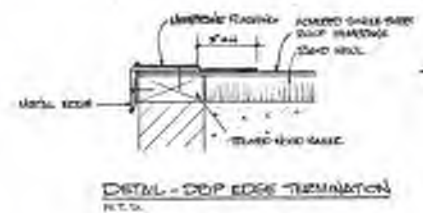
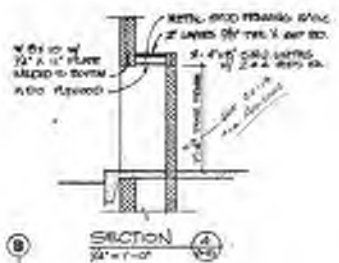


DETAIL 3
 1/2" x 1'-0"



SECTION 2
 1/2" x 1'-0"

GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 224 NORTH...			
DRAWN BY DATE: 2/20/80	PROJECT NO. 84-17-1	CHECKED BY DATE:	DESIGNED BY DATE:
SECTION, DETAILS			
PROJECT NO. 8422			

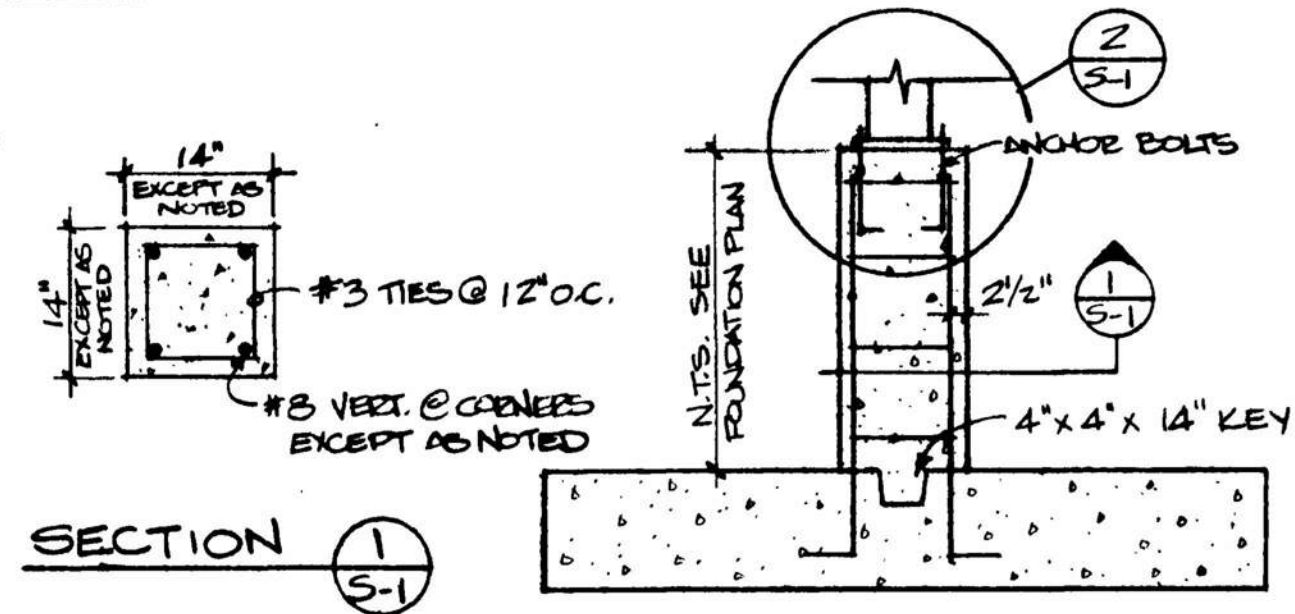
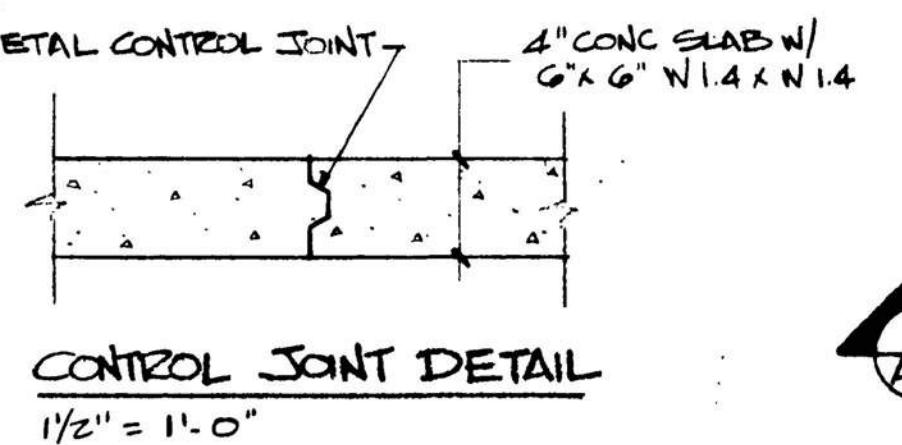
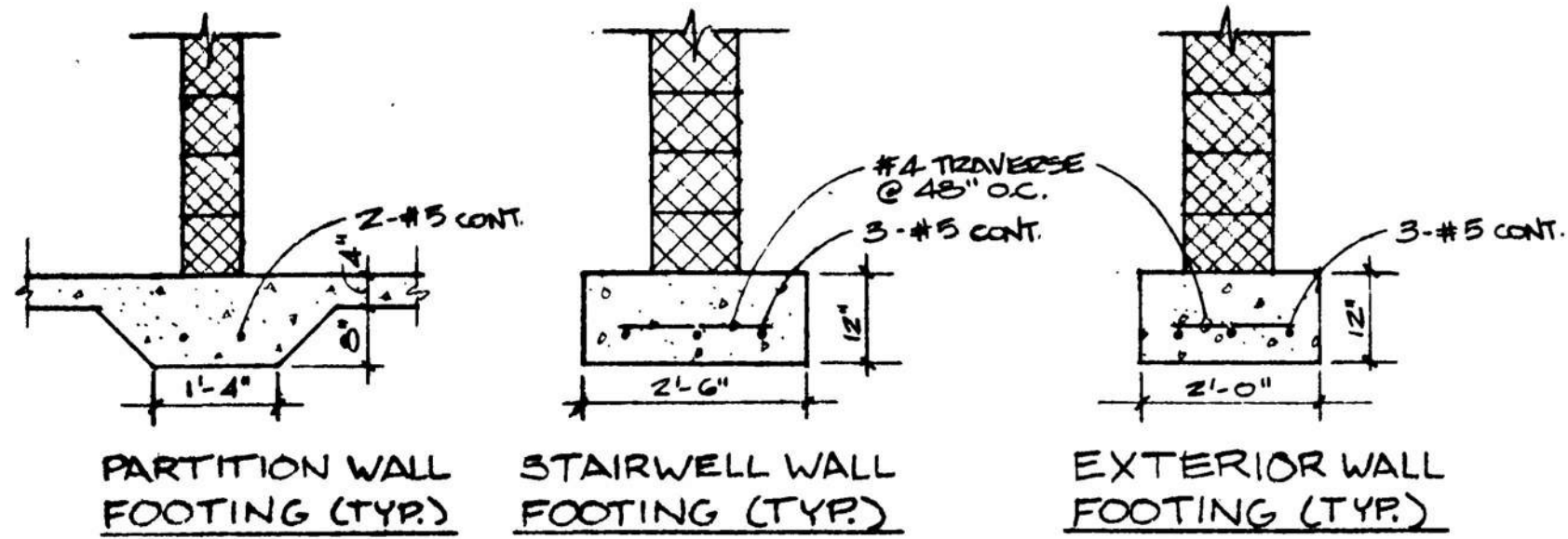


CHIMNEY SECTION
SCALE: 1/4" = 1'-0"

SECTION
SCALE: 1/4" = 1'-0"



FRENCH & WISAL, INC. Architects & Planners 3000 YORK ST., SUITE 100 WASHINGTON, D.C. 20004	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT	
PROJECT NO. 15425	SHEET NO. A-15

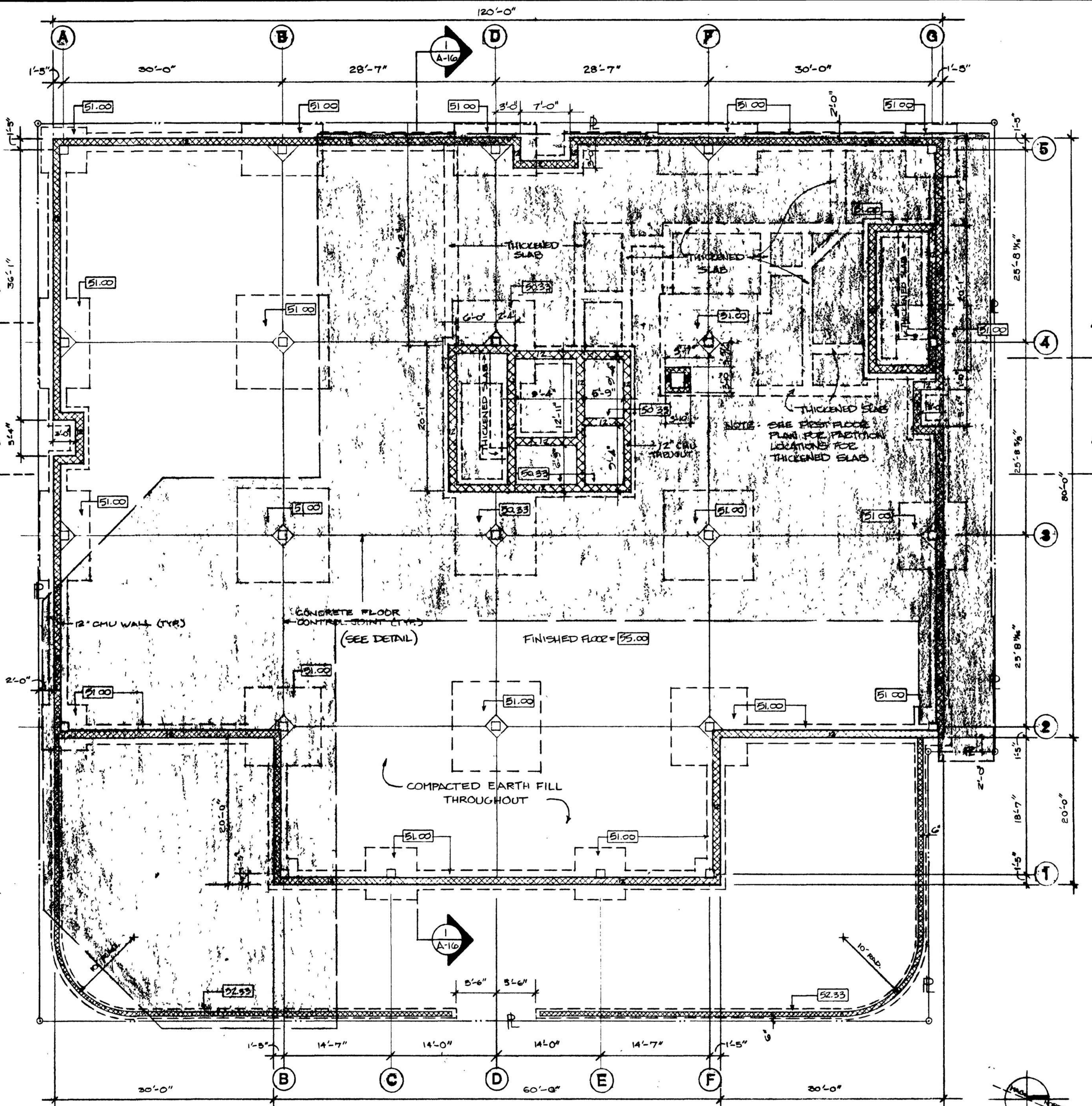


TYPICAL PIER DETAILS
 N.T.S.

COLUMN AND FOOTING SCHEDULE																
	A/5	A2/5	B/5	D/5	F/5	F8/5	G/5	A/4	B/4	D/4	F/4	G/4	A/3	B/3	D/3	F/3
TOP PLATE		1/4"		CAP		PLATE		SEE	DETAIL	SHEET		A-5				
3RD FL./ROOF COLUMN																
BOTTOM PLATE		9x7 1/2"	11x7 1/2"	11x7 1/2"	11x7 1/2"	9x7 1/2"		9x4 1/2"	14x9 1/2"	13x9 1/2"	12x9 1/2"	8x4 1/2"	9x4 1/2"	14x9 1/2"	13x9 1/2"	14x9 1/2"
TOP PLATE	7x6 1/2"	11x7 1/2"	11x7 1/2"	11x7 1/2"	11x7 1/2"	7x6 1/2"	7x6 1/2"	7x6 1/2"	14x9 1/2"	13x9 1/2"	12x9 1/2"	8x4 1/2"	9x4 1/2"	14x9 1/2"	13x9 1/2"	14x9 1/2"
2ND/3RD FL. COLUMN	4x4 1/2"	5x5 1/2"	5x5 1/2"	5x5 1/2"	5x5 1/2"	4x4 1/2"	4x4 1/2"	4x4 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"	5x5 1/2"	5x5 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"
BOTTOM PLATE	8x4 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"
TOP PLATE	8x4 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"
1ST/2ND FL. COLUMN	5x5 1/2"	6x6 1/2"	6x6 1/2"	6x6 1/2"	6x6 1/2"	5x5 1/2"	5x5 1/2"	5x5 1/2"	10x10 1/2"	10x10 1/2"	10x10 1/2"	6x6 1/2"	6x6 1/2"	10x10 1/2"	10x10 1/2"	10x10 1/2"
BOTTOM PLATE	11x11 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"	11x11 1/2"	11x11 1/2"	11x11 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"	11x11 1/2"	11x11 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"
PIER #	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"	16x16"	16x16"	16x16"	14x14"	14x14"	16x16"	16x16"	16x16"
REINFORCING	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8	4-#9	4-#9	4-#9	4-#8	4-#8	4-#9	4-#8	4-#9
FOOTING #	6'0" x 6'0"	7'0" x 6'0"	7'0" x 6'0"	7'0" x 6'0"	7'0" x 6'0"	6'0" x 6'0"	7'0" x 6'0"	7'0" x 6'0"	12'0" x 6'0"	12'0" x 6'0"	12'0" x 6'0"	6'0" x 6'0"	6'0" x 6'0"	12'0" x 6'0"	12'0" x 6'0"	12'0" x 6'0"
REINFORCING	7-#8 E.W.	8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	7-#8 E.W.	8-#8 E.W.	8-#8 E.W.	12-#8 E.W.	12-#8 E.W.	12-#8 E.W.	7-#8 E.W.	7-#8 E.W.	12-#8 E.W.	12-#8 E.W.	12-#8 E.W.

	G/5	A/2	A2/2	B/2	D/2	F/2	F8/2	G/2	B/1A	F/1A	B/1	C/1	C8/1	D2/1	E/1	F/1
TOP PLATE																
3RD FL./ROOF COLUMN																
BOTTOM PLATE		9x7 1/2"	13x7 1/2"	14x9 1/2"	13x7 1/2"	9x7 1/2"		9x6 1/2"	9x6 1/2"		9x6 1/2"	9x6 1/2"		9x6 1/2"	9x6 1/2"	
TOP PLATE	8x4 1/2"	7x6 1/2"	13x9 1/2"	14x9 1/2"	13x9 1/2"	7x6 1/2"		7x6 1/2"	7x6 1/2"	11x9 1/2"		11x9 1/2"	11x9 1/2"	11x9 1/2"	7x6 1/2"	7x6 1/2"
2ND/3RD FL. COLUMN	6x6 1/2"	4x4 1/2"	7x6 1/2"	8x8 1/2"	7x6 1/2"	4x4 1/2"		4x4 1/2"	4x4 1/2"	5x5 1/2"		5x5 1/2"	5x5 1/2"	5x5 1/2"	4x4 1/2"	4x4 1/2"
BOTTOM PLATE	8x4 1/2"	14x8 1/2"	14x8 1/2"	14x8 1/2"	14x8 1/2"	8x4 1/2"		8x4 1/2"	8x4 1/2"	12x7 1/2"		12x7 1/2"	12x7 1/2"	12x7 1/2"	8x4 1/2"	8x4 1/2"
TOP PLATE	8x4 1/2"	14x8 1/2"	14x8 1/2"	14x8 1/2"	14x8 1/2"	8x4 1/2"		8x4 1/2"	8x4 1/2"	12x7 1/2"		12x7 1/2"	12x7 1/2"	12x7 1/2"	8x4 1/2"	8x4 1/2"
1ST/2ND FL. COLUMN	7x6 1/2"	5x5 1/2"	8x8 1/2"	8x8 1/2"	8x8 1/2"	5x5 1/2"		5x5 1/2"	5x5 1/2"	6x6 1/2"		6x6 1/2"	6x6 1/2"	6x6 1/2"	4x4 1/2"	4x4 1/2"
BOTTOM PLATE	15x15 1/2"	11x11 1/2"	14x14 1/2"	14x14 1/2"	14x14 1/2"	11x11 1/2"		11x11 1/2"	11x11 1/2"	10x10 1/2"		10x10 1/2"	10x10 1/2"	10x10 1/2"	10x10 1/2"	10x10 1/2"
PIER #	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"		14x14"	14x14"	14x14"		14x14"	14x14"	14x14"	14x14"	14x14"
REINFORCING	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8		4-#8	4-#8	4-#8		4-#8	4-#8	4-#8	4-#8	4-#8
FOOTING #	6'0" x 6'0"	6'0" x 6'0"	8'0" x 6'0"	8'0" x 6'0"	8'0" x 6'0"	6'0" x 6'0"		6'0" x 6'0"	6'0" x 6'0"	7'0" x 6'0"		7'0" x 6'0"	7'0" x 6'0"	7'0" x 6'0"	6'0" x 6'0"	6'0" x 6'0"
REINFORCING	7-#8 E.W.	7-#8 E.W.	8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	7-#8 E.W.		7-#8 E.W.	7-#8 E.W.	8-#8 E.W.		8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	7-#8 E.W.	7-#8 E.W.

NOTES: 1. ALL CONC. PIERS SHALL HAVE #3 TIES @ 12" O.C.
 2. NET SOIL PRESSURE = 2000 PSF
 3. FROM ALL FOOTING BASE PLATES 1/2" DIA 3/8" ANCHOR BOLTS 12" MIN EMBEDMENT W/ 3" HOOK ON END



LEGEND:
 [Symbol] NEW CHU FOUNDATION
 [Symbol] EXISTING BLDG. TO BE DEMOLISHED

NOTE: FOOTING ELEVATIONS ARE TO TOP OF FOOTING



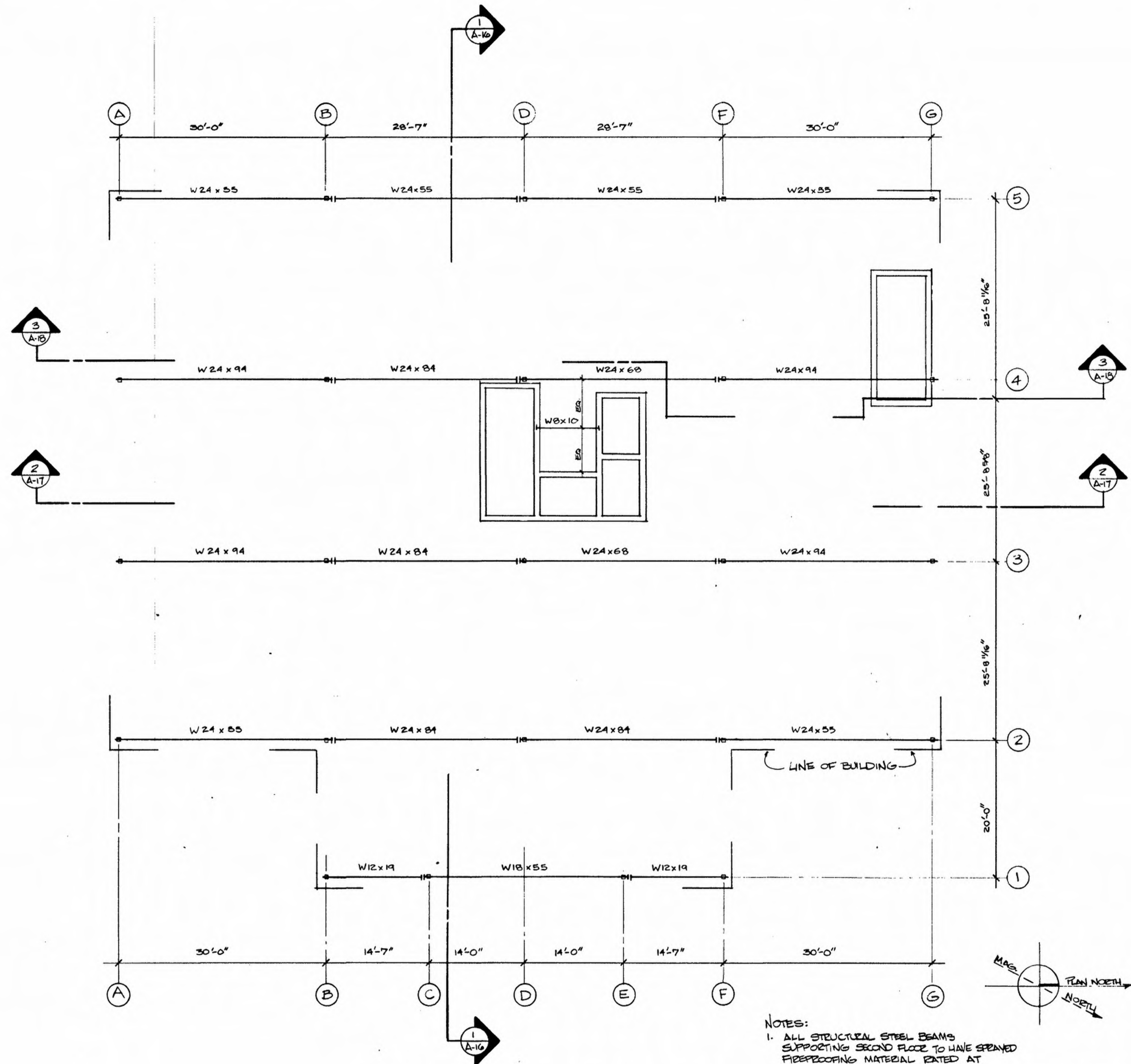
FRENCH + RYAN, INC.
 Architects & Planners
 GEORGETOWN, DELAWARE

GEORGETOWN STATE OFFICE BUILDING
SUSSEX COUNTY FAMILY COURT

The Circle Georgetown, Delaware
 SCALE AS SHOWN APPROVED BY
 DATE 4 APRIL 06 DRAWN BY
 REVISED

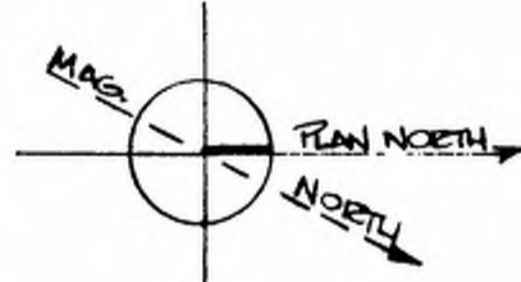
FOUNDATION PLAN, DETAILS

PROJECT NO. B423 DRAWING NUMBER
8-1



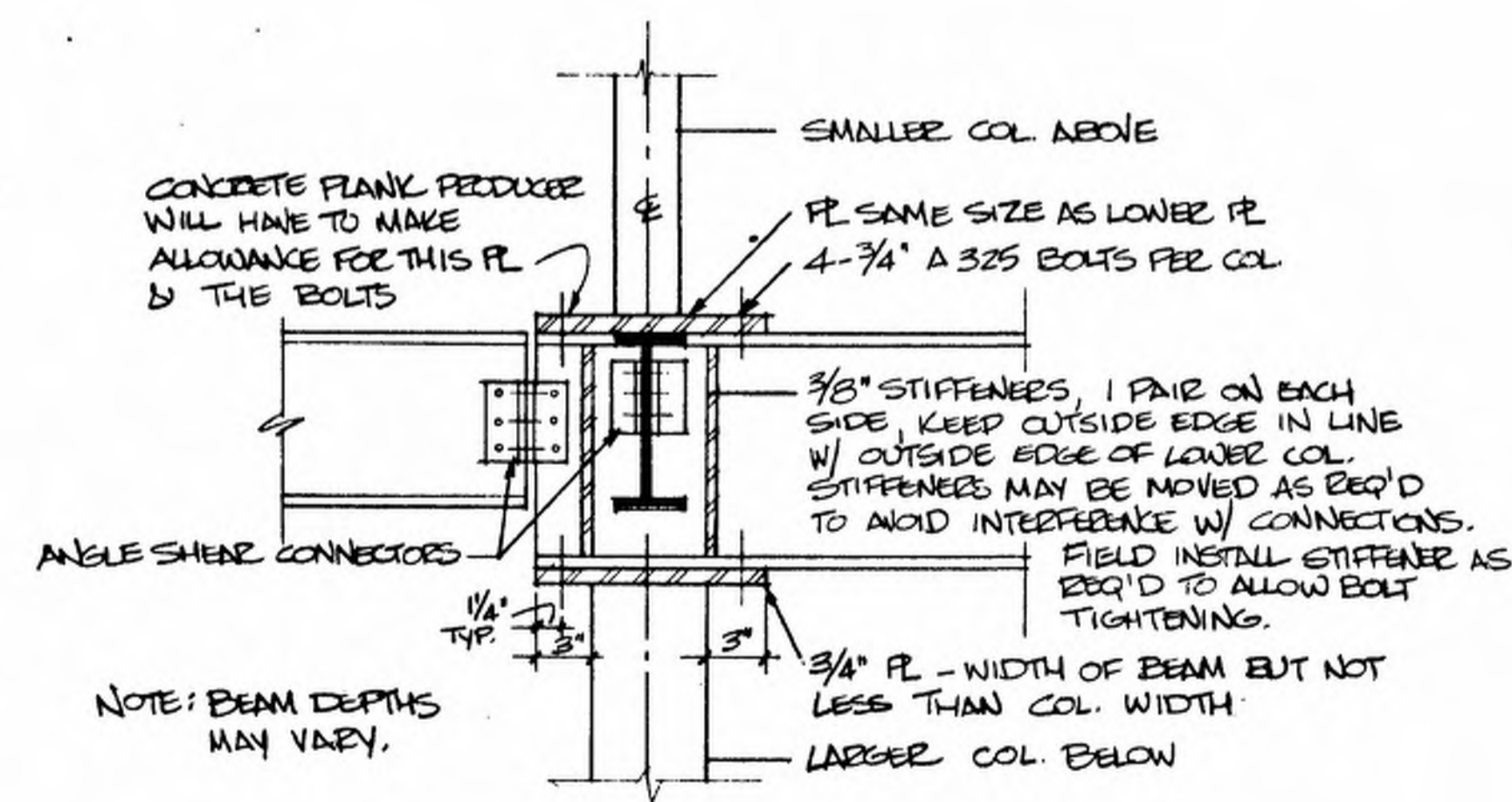
SECOND FLOOR STEEL FRAMING PLAN
 1/8" = 1'-0"

- NOTES:
1. ALL STRUCTURAL STEEL BEAMS SUPPORTING SECOND FLOOR TO HAVE SPRAED FIREPROOFING MATERIAL RATED AT 2 HR. U.L. DESIGN NECOS.
 2. TOP OF STEEL ELEVATION = 68.04' (UNLESS NOTED OTHERWISE)

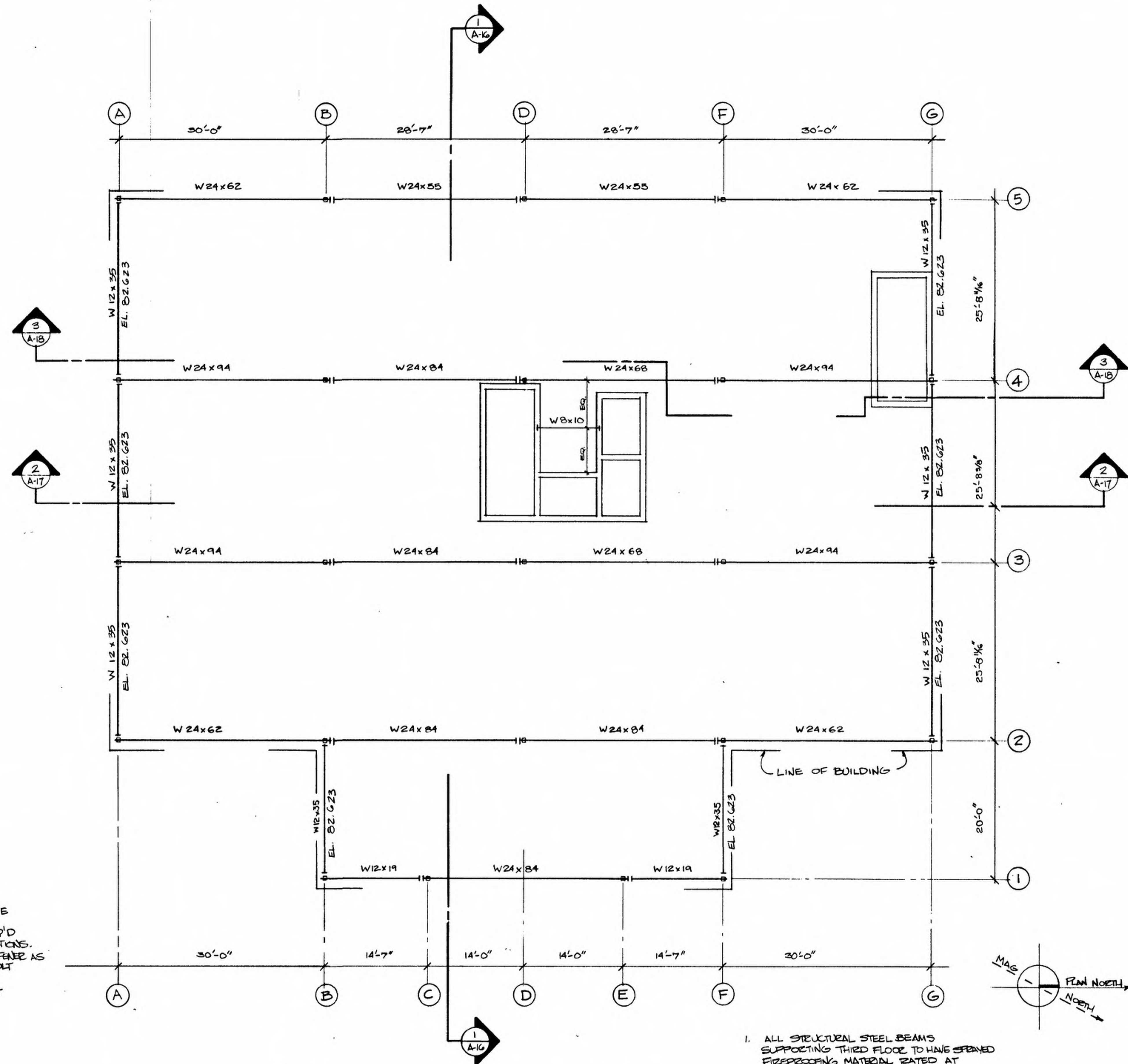


FRENCH + RYAN, INC. Architects & Planners GEORGETOWN, DELAWARE	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT The Circle Georgetown, Delaware	
SCALE AS SHOWN DATE 4-APRIL 06	APPROVED BY REVISIONS
SECOND FLOOR STEEL FRAMING PLAN	
PROJECT NO. B423	DRAWING NUMBER S-2

DATE PLOTTED: 7/10/2002 10:58:11 AM
 PLOTTER: HP DesignJet 500
 PLOT FILE: S-2.dwg
 PLOT SCALE: 1/8" = 1'-0"
 PLOT SHEET: 1 OF 1



TYPICAL COLUMN SPLICE
N.T.S.



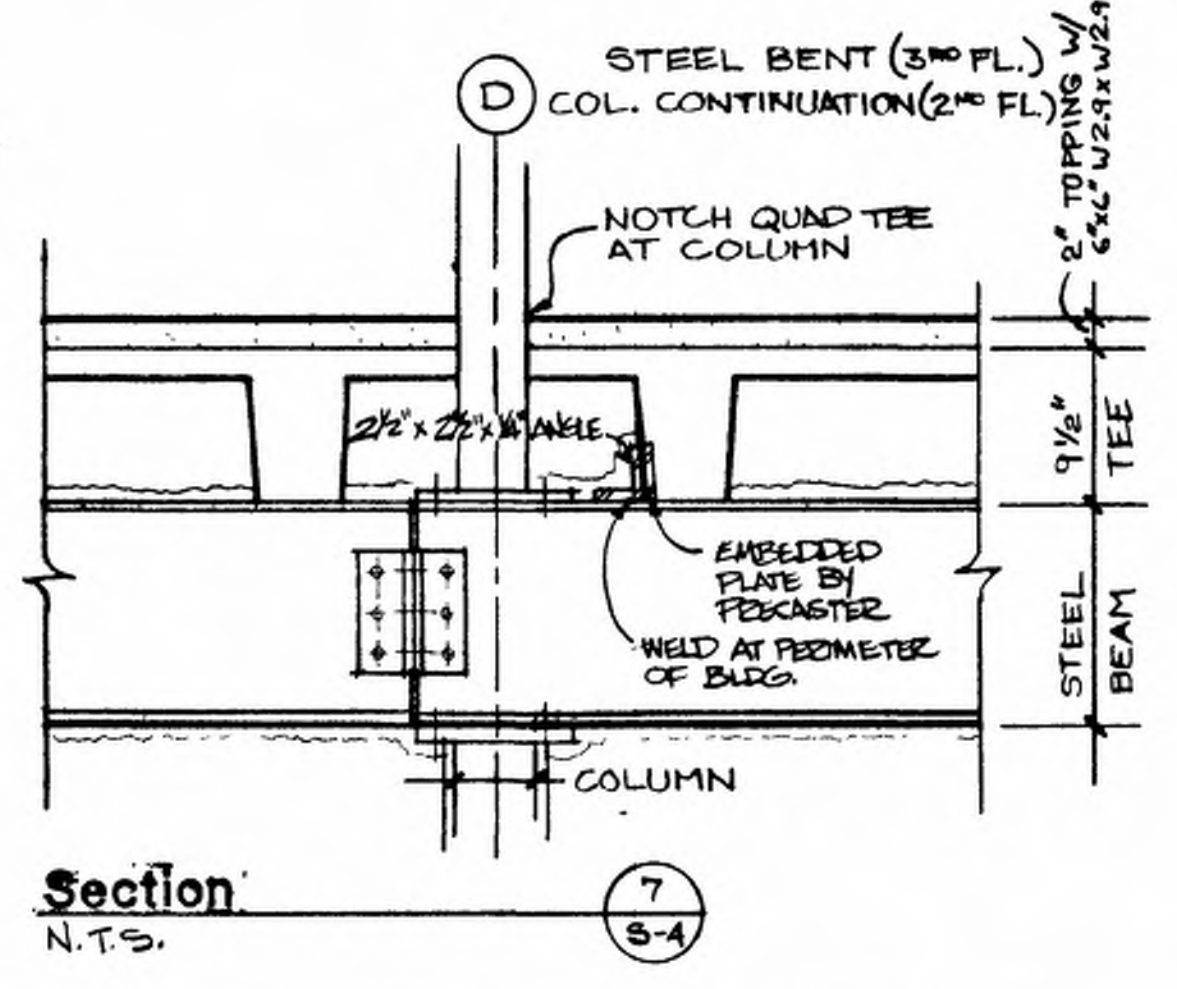
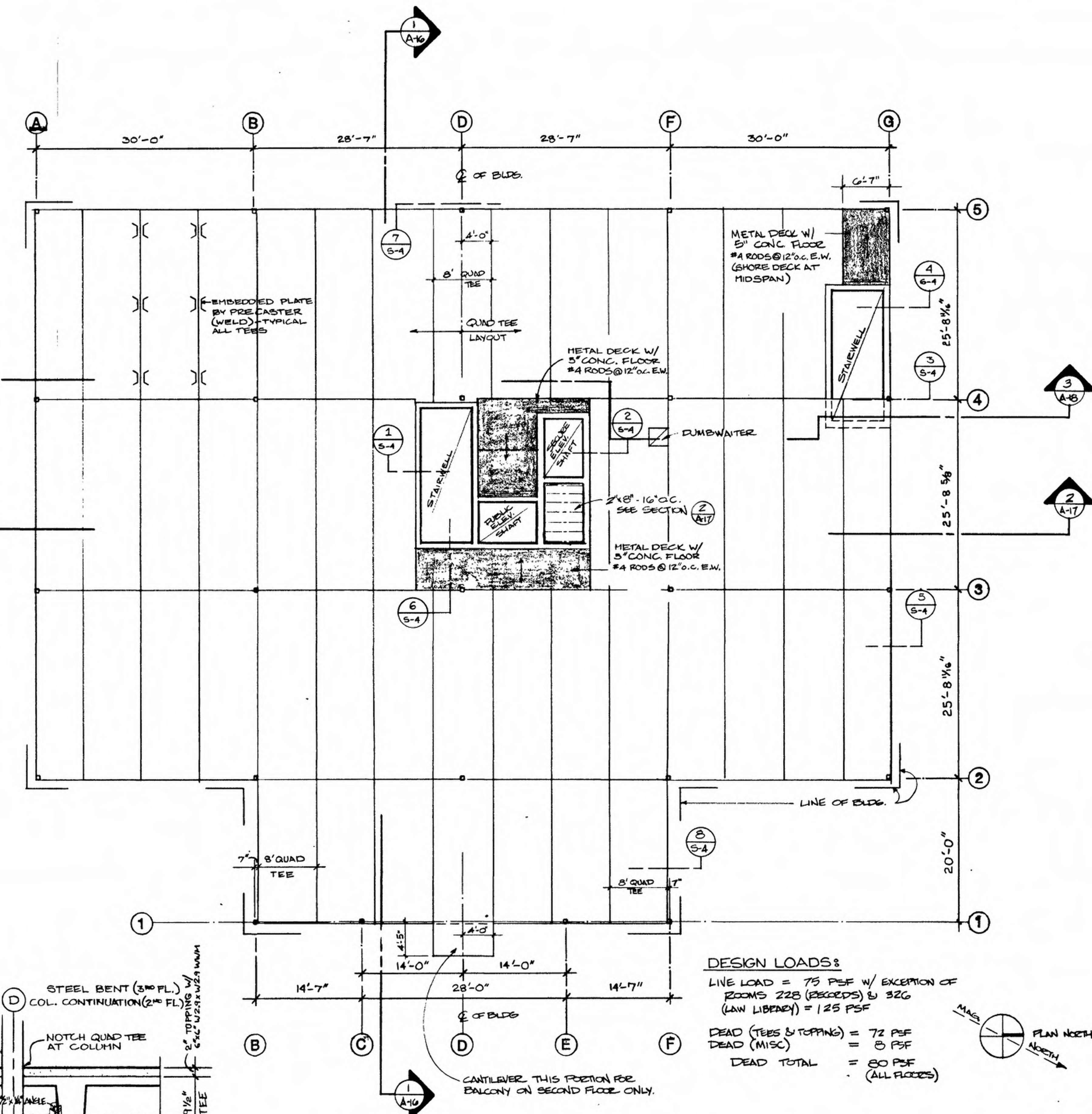
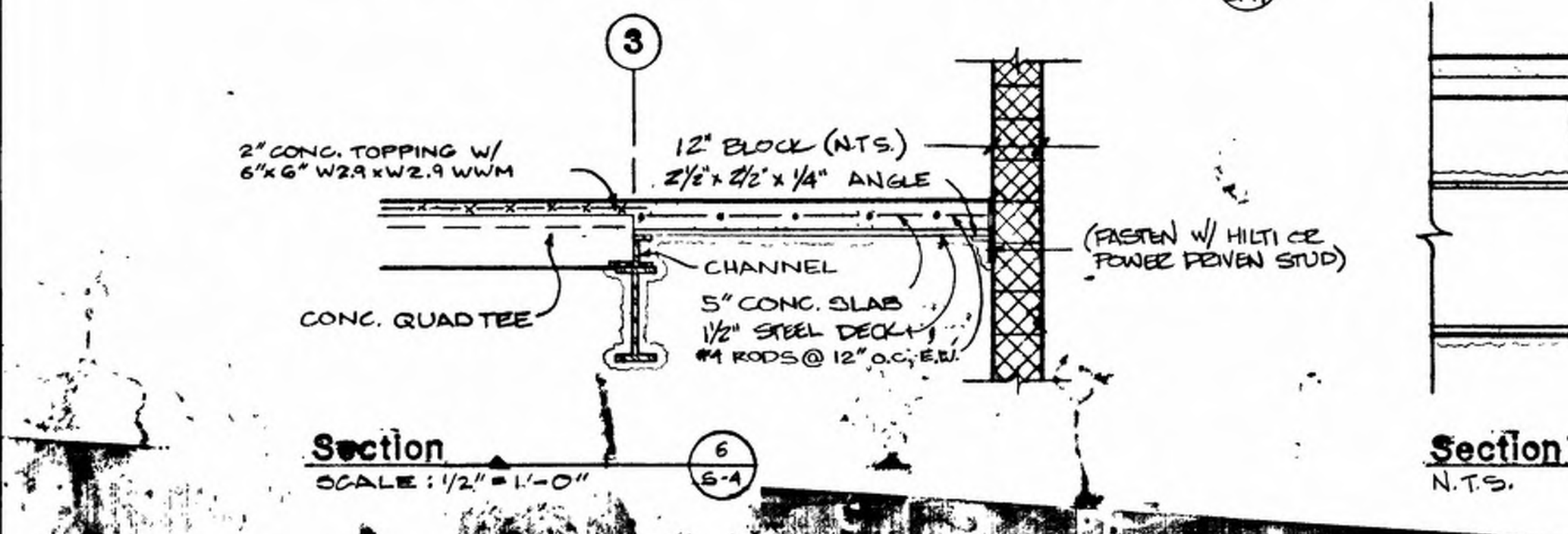
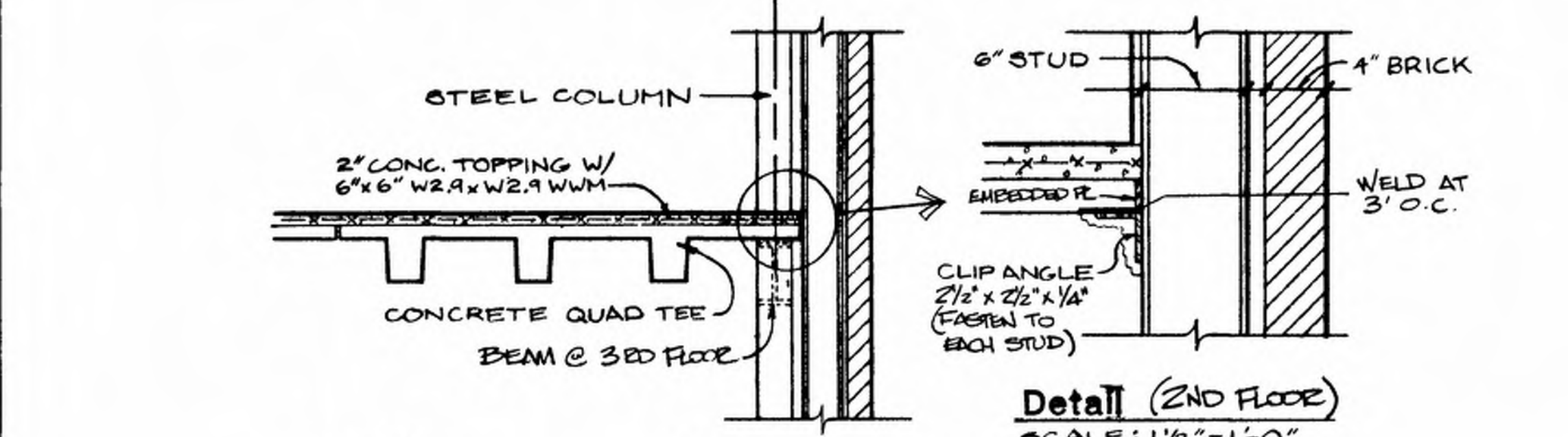
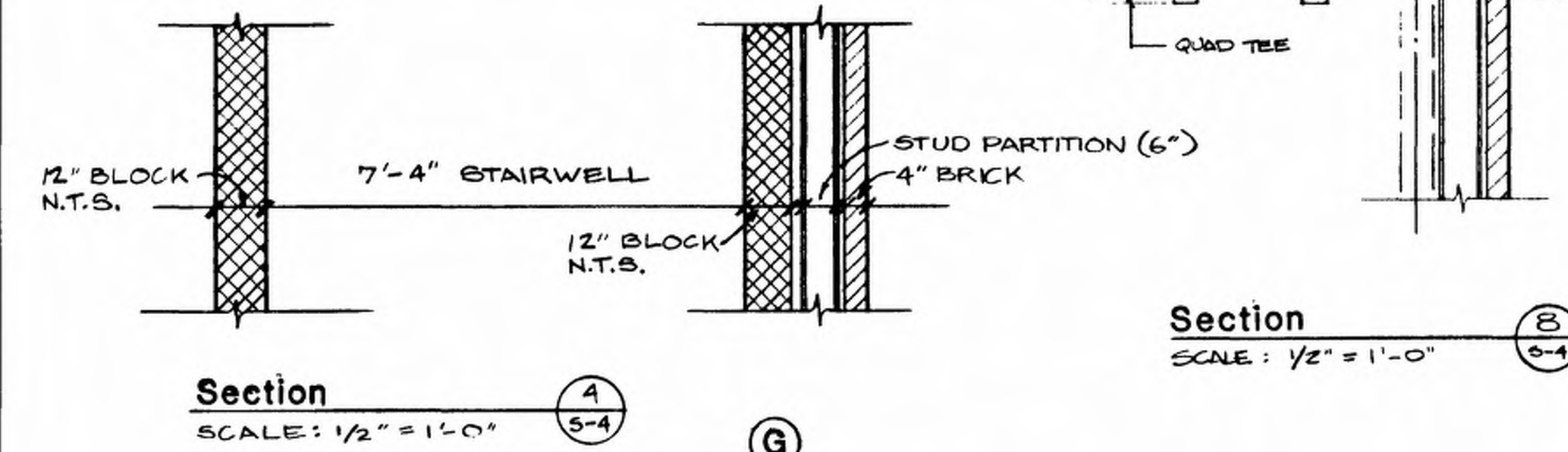
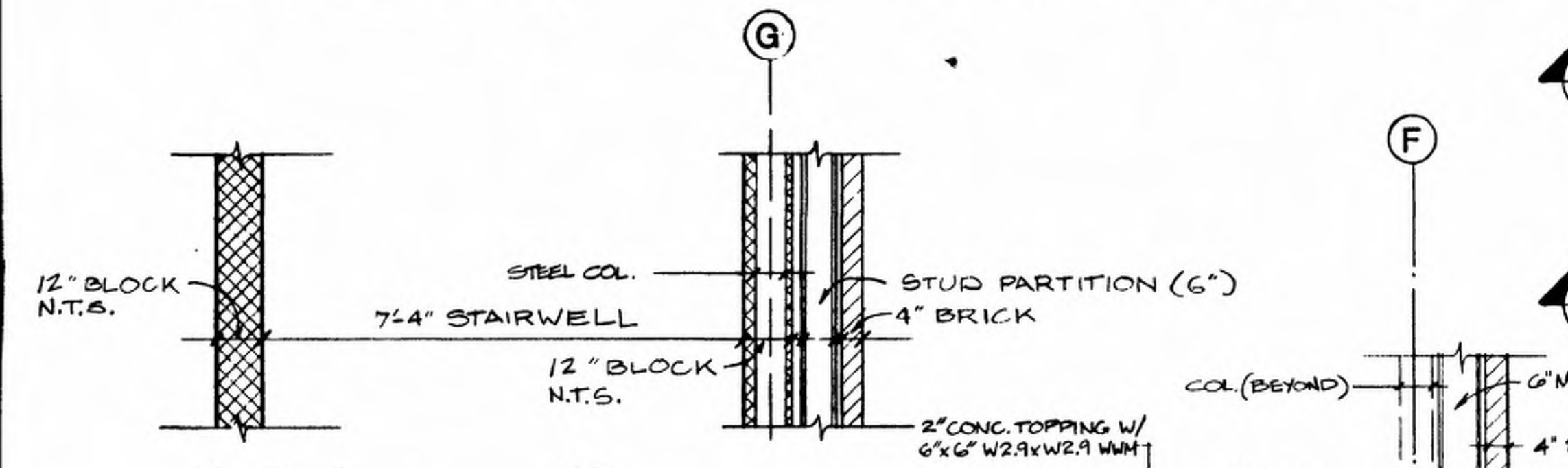
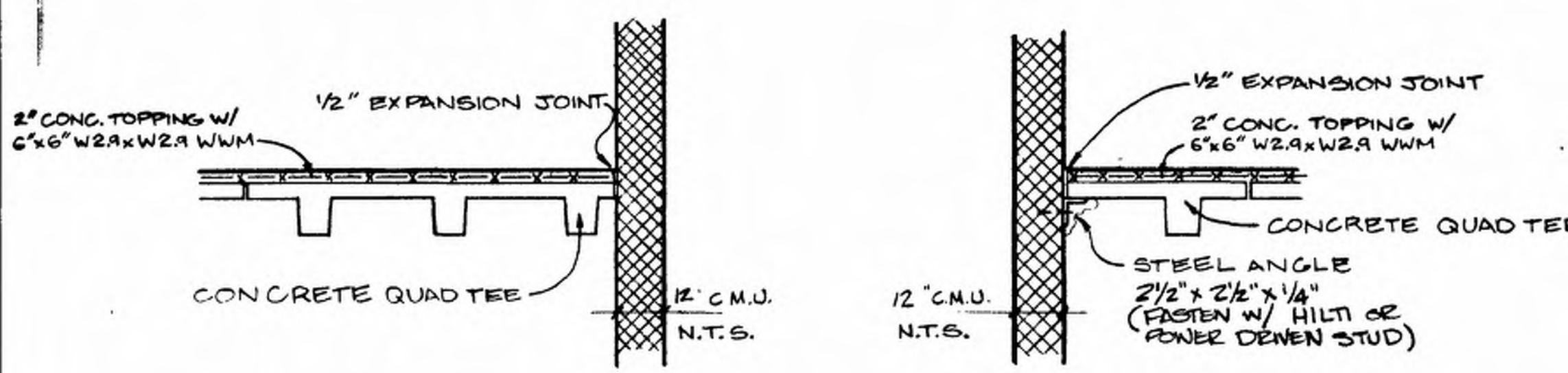
THIRD FLOOR STEEL FRAMING PLAN
1/8" = 1'-0"

1. ALL STRUCTURAL STEEL BEAMS SUPPORTING THIRD FLOOR TO HAVE OPENED FIREPROOFING MATERIAL RATED AT 2 HR. U.L. DESIGN NBOS.
2. TOP OF STEEL ELEVATION = 82.04' (UNLESS NOTED OTHERWISE)

FRENCH + RYAN, INC. Architects & Planners Georgetown, Delaware	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT The Circle Georgetown, Delaware	
SCALE AS SHOWN	APPROVED BY
DATE 4 APRIL 86	REVIS
THIRD FLOOR STEEL FRAMING PLAN	
PROJECT NO. B423	DRAWING NUMBER S-3

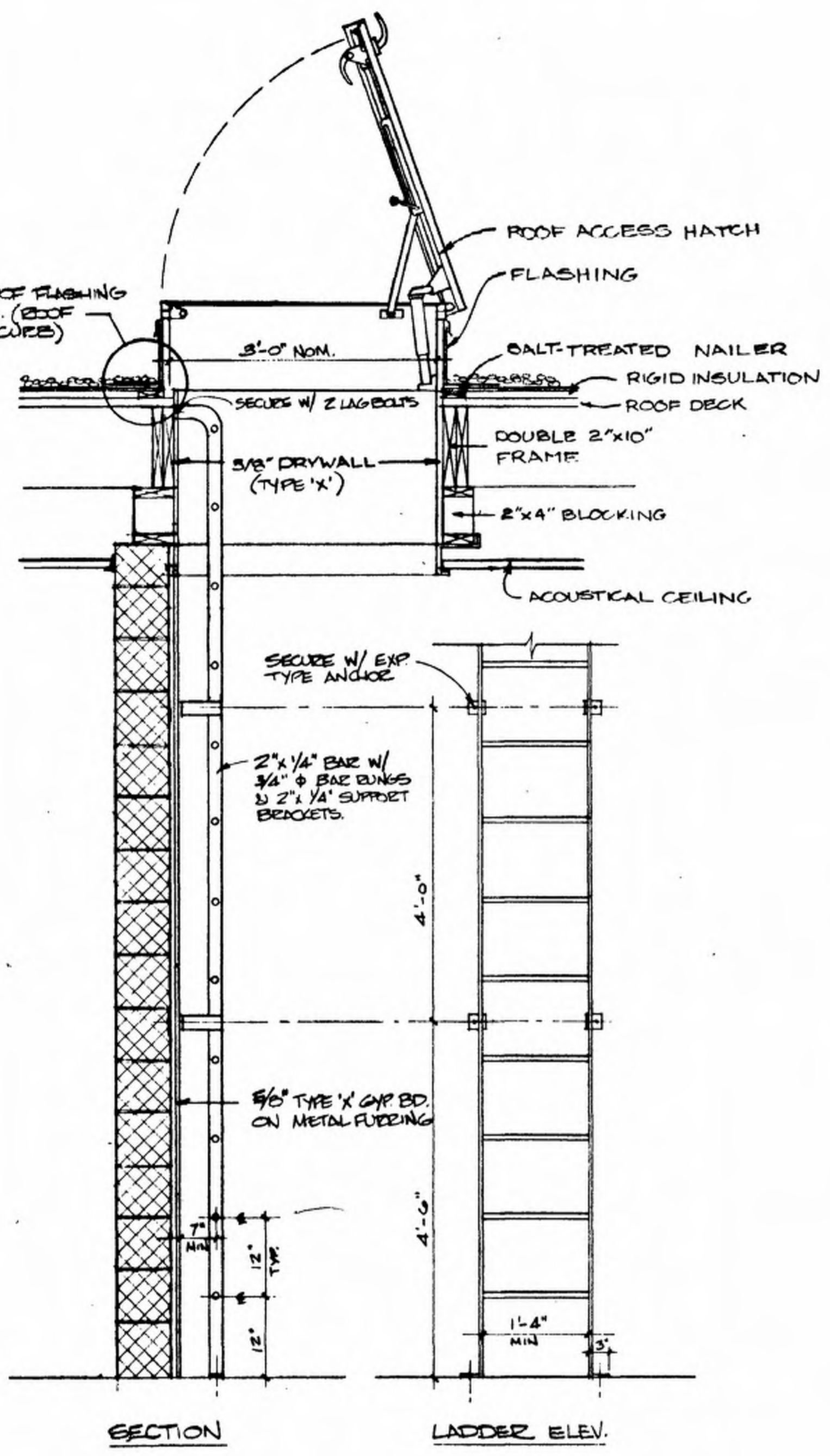


STOCKDRAFTING FORM NO. 101-45

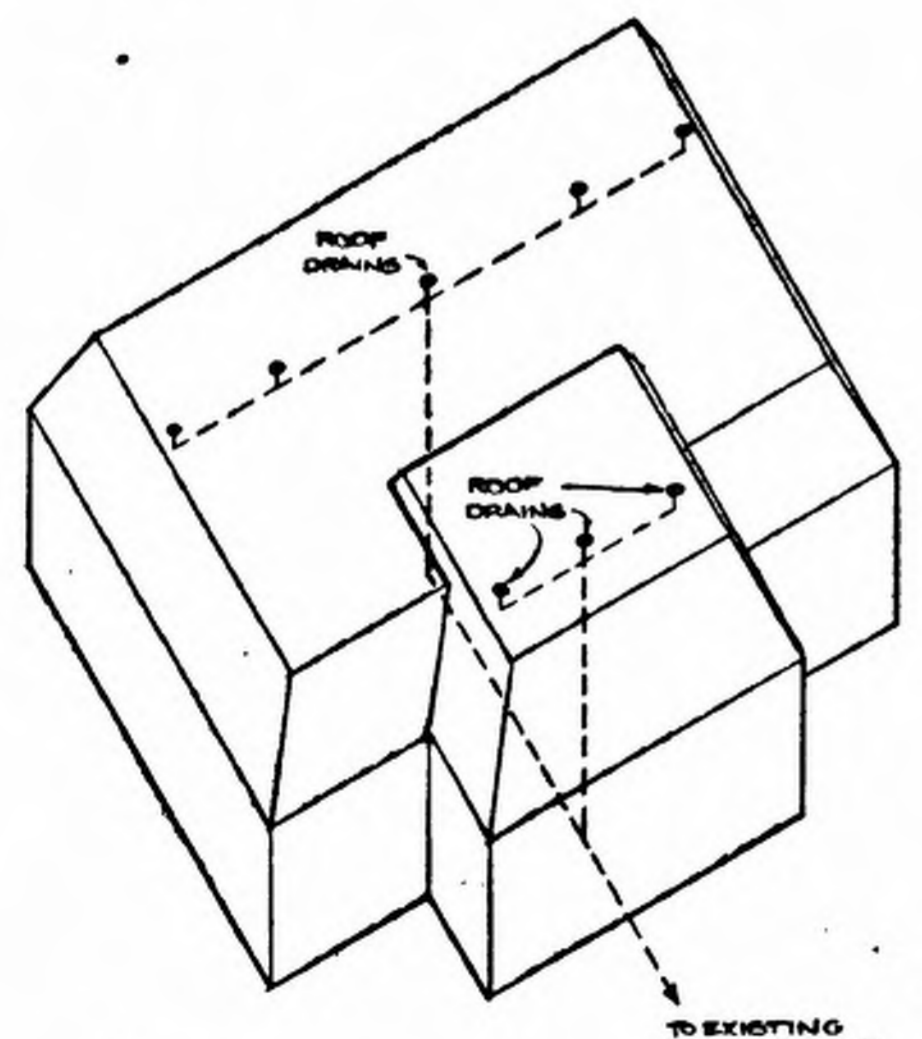


FRENCH + RYAN, INC. Architects & Planners Georgetown, Delaware	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT The Circle Georgetown, Delaware	
SCALE AS SHOWN	APPROVED BY
DATE 4 APRIL 86	DRAWN BY
SECOND & THIRD FLOOR PLANK PLAN, DETAILS PROJECT No. B423	
DRAWING NUMBER 9-4	

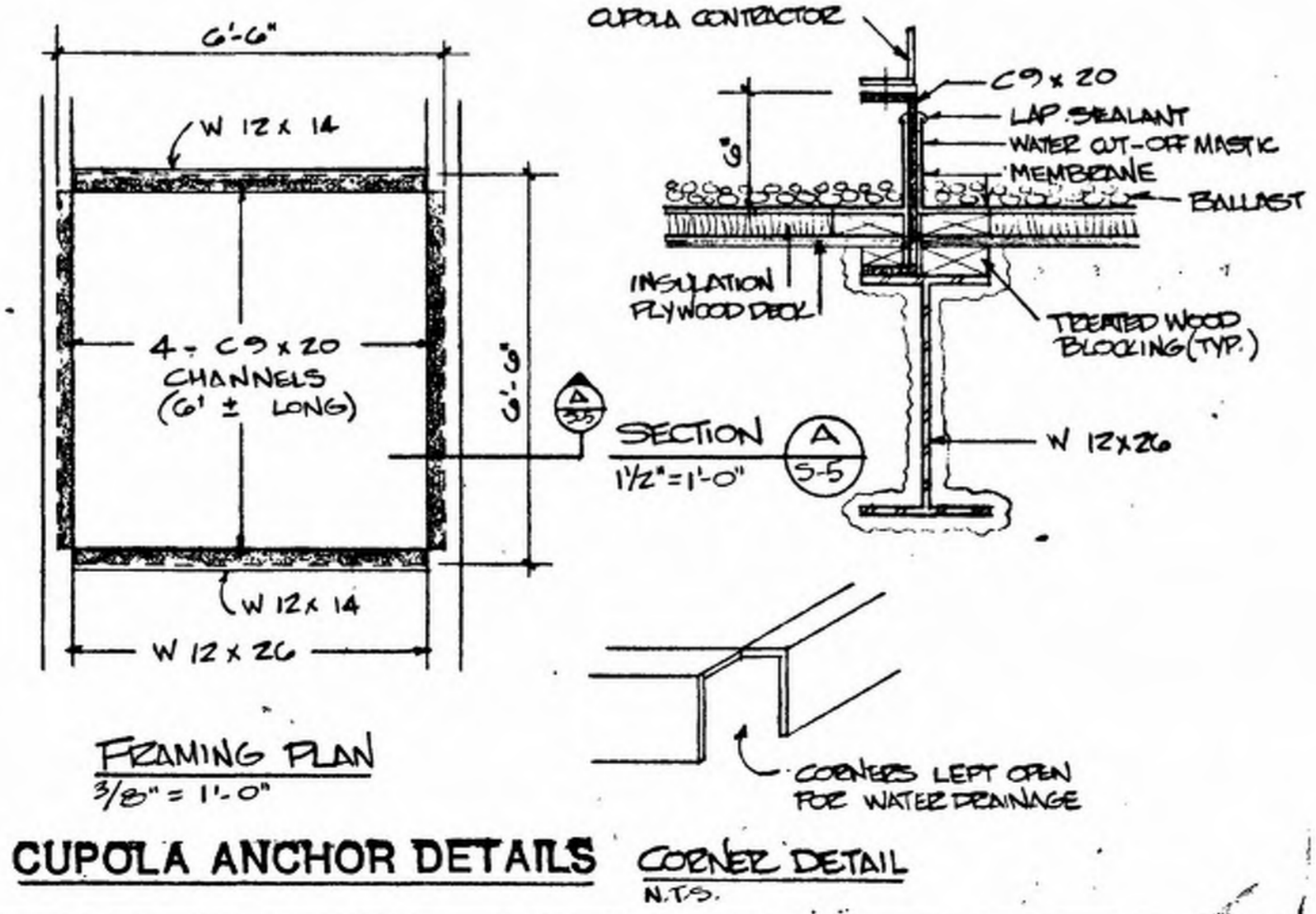
NOTE: SEE ROOF FLASHING DETAILS (ROOF HATCH CORE)



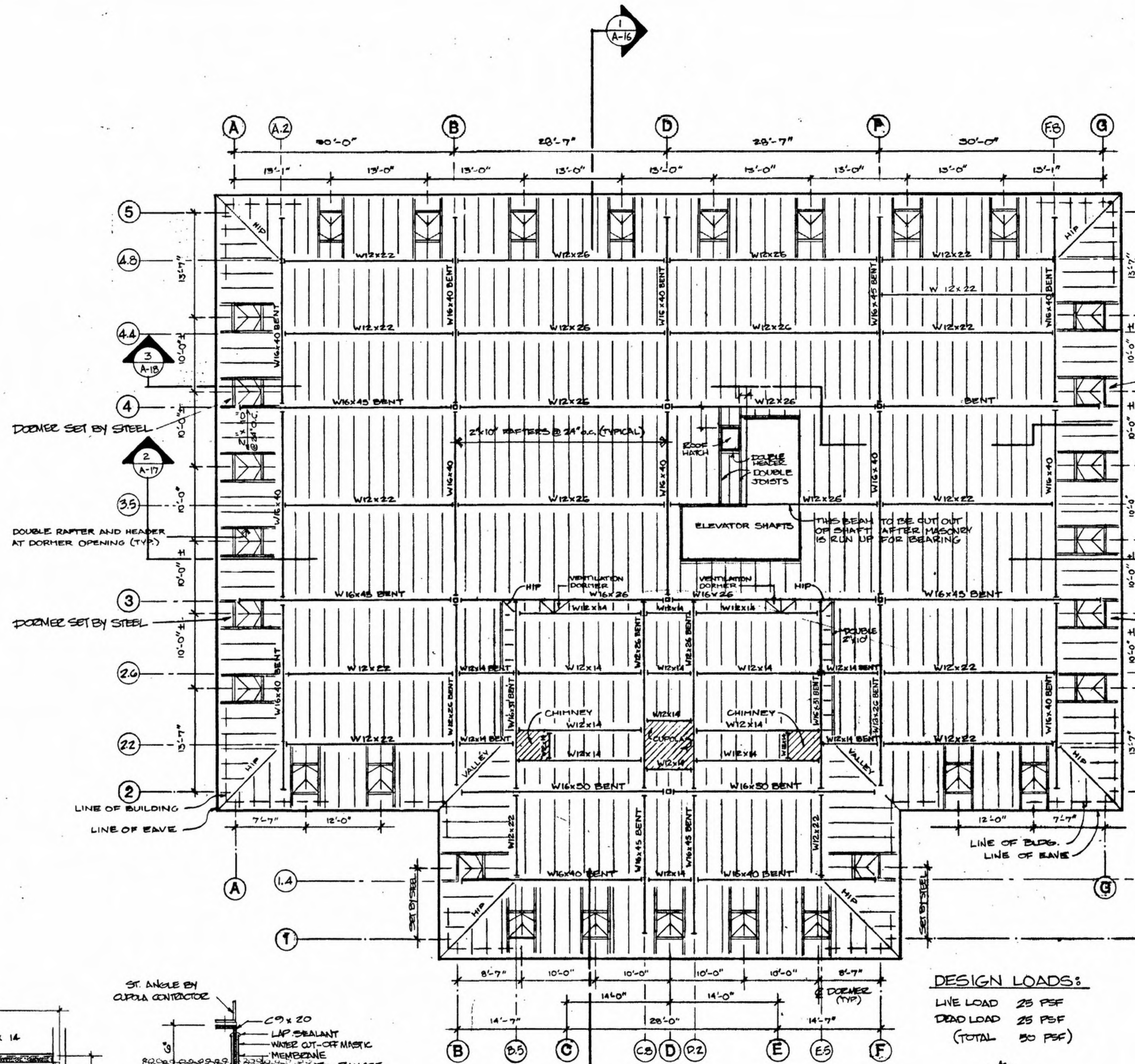
Roof Access Hatch & Ladder Details
NOT TO SCALE



Roof Drain Plumbing Schematic
SEE MECHANICAL DRAWINGS



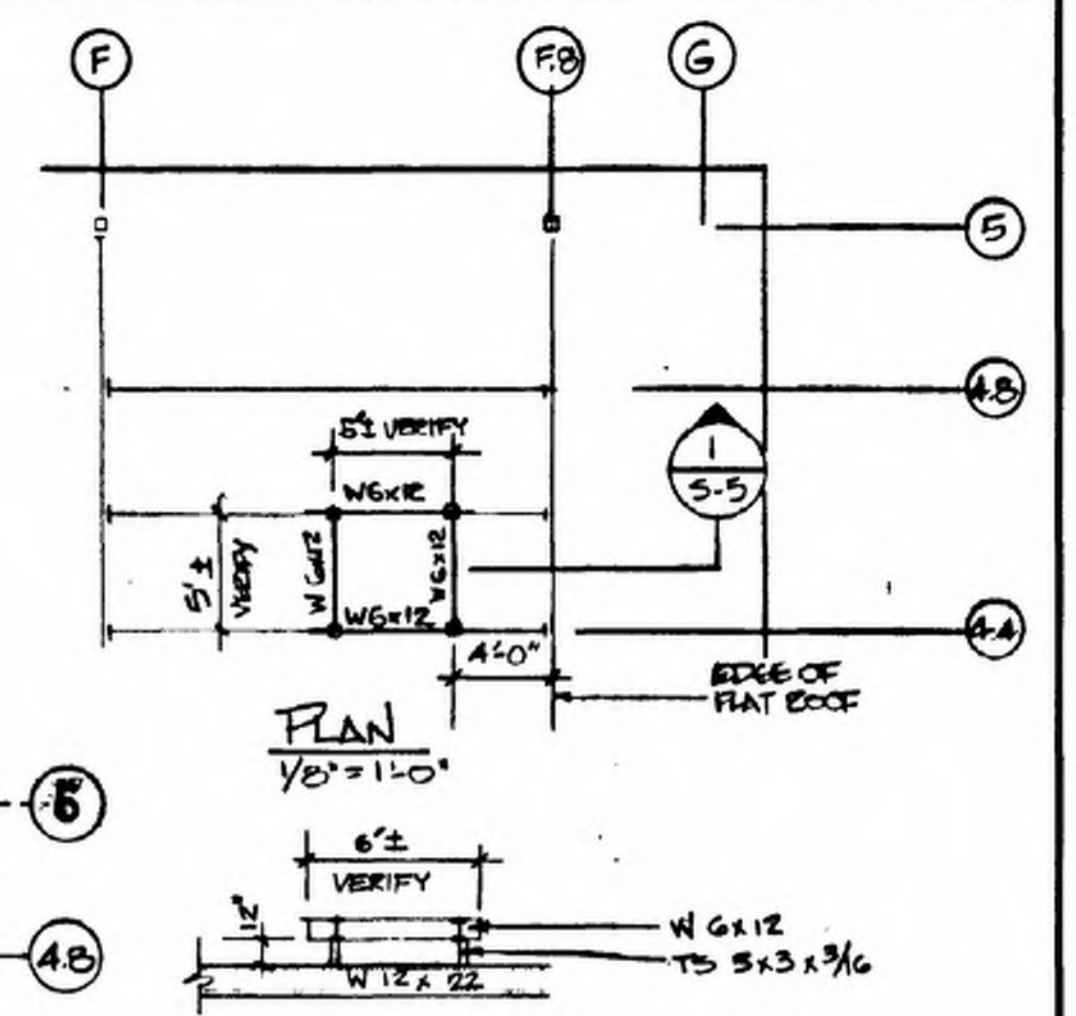
CUPOLA ANCHOR DETAILS
CORNER DETAIL N.T.S.



ROOF FRAMING PLAN
1/8" = 1'-0"

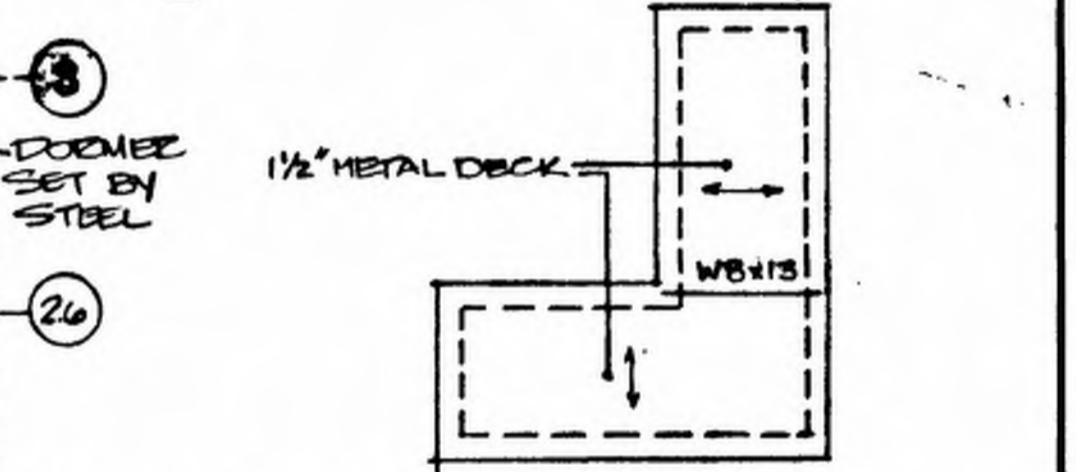
DESIGN LOADS:
LIVE LOAD 25 PSF
DEAD LOAD 25 PSF
(TOTAL 50 PSF)

NOTE: ALL STRUCTURAL STEEL BEAMS SUPPORTING ROOF TO HAVE SPRAVED FIREPROOFING MATERIAL RATED AT 1 HR. U.L. DESIGN NOOS.

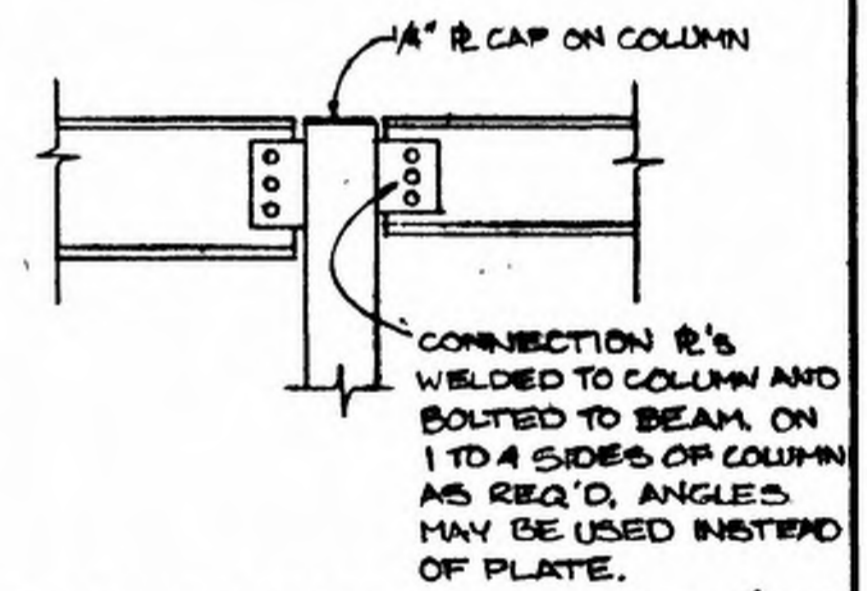


COOLING TOWER SUPPORT DETAILS
SECTION 1 S-5 N.T.S.

DORMER FRAMING PLAN



ELEVATOR SHAFT ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



ROOF LEVEL BEAM-COLUMN CONNECTION (TYP)
N.T.S.



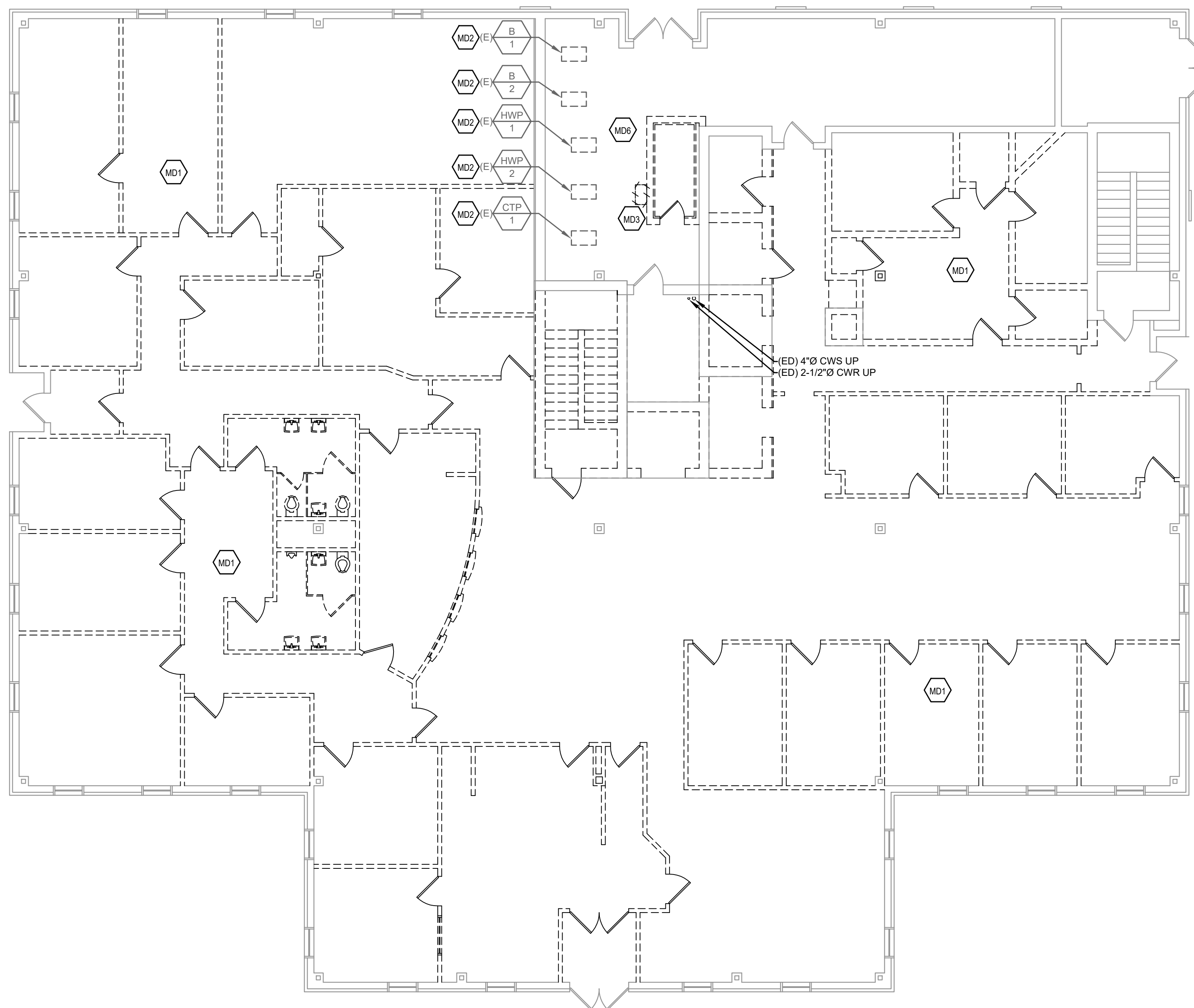
FRENCH + RYAN, INC. Architects & Planners GEORGETOWN, DELAWARE	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT	
Scale AS SHOWN	DATE 4 APRIL 2006
APPROVED BY: [Signature]	DRAWN BY: [Signature]
ROOF FRAMING PLAN, ROOF HATCH & LADDER, ROOF DRAIN PLUMBING	
PROJECT NO. B23	DRAWING NUMBER 18-5

MECHANICAL DEMOLITION NOTES:

1. CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
2. CONTRACTOR SHALL DEMOLISH ALL EXISTING HVAC SYSTEMS IN THEIR ENTIRETY EXCEPT EXISTING BOILERS (B-1, B-2), EXISTING HOT WATER PUMPS (HWP-1, HWP-2), CHEMICAL TREATMENT PUMP (CTP-1), AND EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP MAINS ARE TO REMAIN. ALL BRANCH PIPING SERVING THE WATER SOURCE HEAT PUMPS ARE TO BE DEMOLISHED BACK TO THE MAIN AND CAPPED.
3. IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
4. ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
5. GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILING AS REQUIRED BY THE ARCHITECT.
6. MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

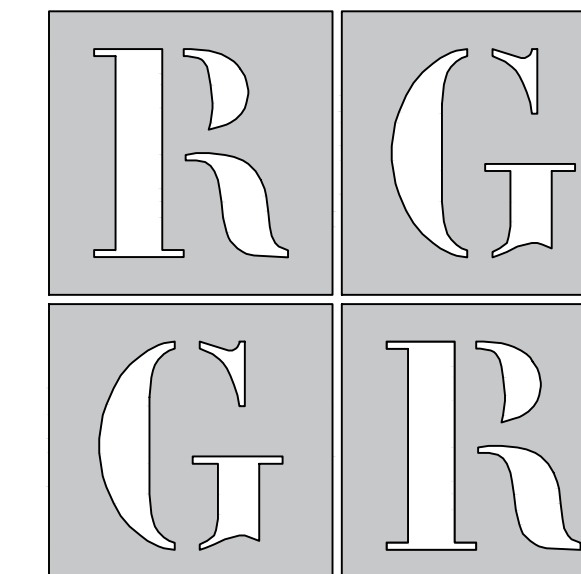
- MD1. CONTRACTOR SHALL DEMOLISH ALL EXISTING WATER SOURCE HEAT PUMPS IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR DEVICES, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES. CONTRACTOR SHALL DEMOLISH ALL ASSOCIATED HOT WATER PIPING. EXISTING CHILLED WATER PIPING TO BE DEMOLISHED BACK TO MAIN AND CAP.
- MD2. EXISTING BOILERS AND ASSOCIATED HOT WATER AND CHEMICAL TREATMENT PUMPS TO REMAIN. CONTRACTOR TO SERVICE AND MAINTAIN EXISTING BOILER SYSTEMS INCLUDING FLUSHING/DRAINING THE SYSTEM. CONTRACTOR TO PROVIDE A SERVICE REPORT TO THE OWNER. EXISTING HOT WATER PIPING TO BE CUT AND CAPPED OUTSIDE OF THE MECHANICAL ROOM. ALL ASSOCIATED PIPING WITHIN THE MECHANICAL ROOM TO REMAIN.
- MD3. EXISTING SPLIT SYSTEM TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO INDOOR AHU, CONDENSING UNIT LOCATED IN MECHANICAL ROOM, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES.
- MD4. EXISTING COOLING TOWER TO BE DEMOLISHED INCLUDING BUT NOT LIMITED TO EXISTING ROOF DUNNAGE, POWER AND CONTROL WIRING, CONDENSATE AND MAKE-UP WATER, AND ANY ACCESSORIES. EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP PIPING TO BE DEMOLISHED AFTER IT ENTERS THE BUILDING. EXISTING SUPPLY AND RETURN CONDENSER WATER PIPING ON ROOF TO REMAIN FOR RECONNECTION INTO COOLING TOWER.
- MD5. EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6. ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.



FIRST FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

<p>THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.</p>	<p>NOTICE</p> <p>THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.</p>
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R G ARCHITECTS, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100



The professional services of the Architect are undertaken for and performed in the interest of the State of Delaware. No contractual obligation is assumed for the benefit of any other person involved in the project.

ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
plan: first
floor-
mechanical

md.1

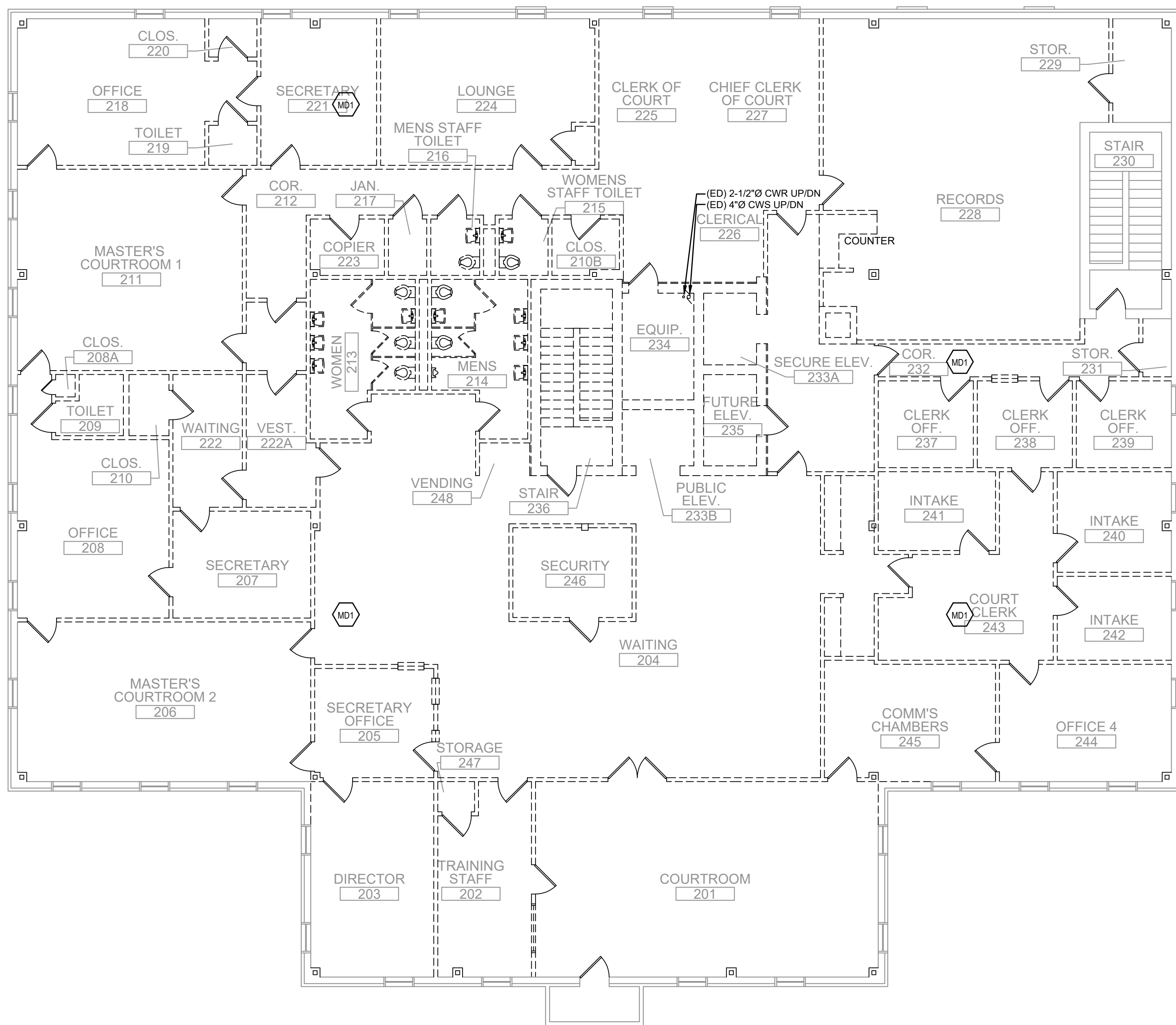
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MECHANICAL DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
- CONTRACTOR SHALL DEMOLISH ALL EXISTING HVAC SYSTEMS IN THEIR ENTIRETY EXCEPT EXISTING BOILERS (B-1, B-2), EXISTING HOT WATER PUMPS (HWP-1, HWP-2), CHEMICAL TREATMENT PUMP (CTP-1), EXISTING WATER SOURCE HEAT PUMPS THAT ARE TO PROVIDE TEMPORARY HEAT DURING CONSTRUCTION (REFER TO PLANS), AND EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP MAINS ARE TO REMAIN. ALL BRANCH PIPING SERVING THE WATER SOURCE HEAT PUMPS ARE TO BE DEMOLISHED BACK TO THE MAIN AND CAPPED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
- ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
- GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILING AS REQUIRED BY THE ARCHITECT.
- MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

- MD1 CONTRACTOR SHALL DEMOLISH ALL EXISTING WATER SOURCE HEAT PUMPS IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, AIR DEVICES, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES. CONTRACTOR SHALL DEMOLISH ALL ASSOCIATED HOT WATER PIPING, EXISTING CHILLED WATER PIPING TO BE DEMOLISHED BACK TO MAIN AND CAP.
- MD2 EXISTING BOILERS AND ASSOCIATED HOT WATER AND CHEMICAL TREATMENT PUMPS TO REMAIN. CONTRACTOR TO SERVICE AND MAINTAIN EXISTING BOILER SYSTEMS INCLUDING FLUSHING/DRAINING THE SYSTEM. CONTRACTOR TO PROVIDE A SERVICE REPORT TO THE OWNER. EXISTING HOT WATER PIPING TO BE CUT AND CAPPED OUTSIDE OF THE MECHANICAL ROOM. ALL ASSOCIATED PIPING WITHIN THE MECHANICAL ROOM TO REMAIN.
- MD3 EXISTING SPLIT SYSTEM TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO INDOOR AHU, CONDENSING UNIT LOCATED IN MECHANICAL ROOM, CONTROL AND POWER WIRING, CONDENSATE PIPING, AND ANY ACCESSORIES.
- MD4 EXISTING COOLING TOWER TO BE DEMOLISHED INCLUDING BUT NOT LIMITED TO EXISTING ROOF DRAINAGE, POWER AND CONTROL WIRING, CONDENSATE AND MAKE-UP WATER, AND ANY ACCESSORIES. EXISTING SUPPLY AND RETURN CONDENSER WATER LOOP PIPING TO BE DEMOLISHED AFTER IT ENTERS THE BUILDING. EXISTING SUPPLY AND RETURN CONDENSER WATER PIPING ON ROOF TO REMAIN FOR RECONNECTION INTO COOLING TOWER.
- MD5 EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6 ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.

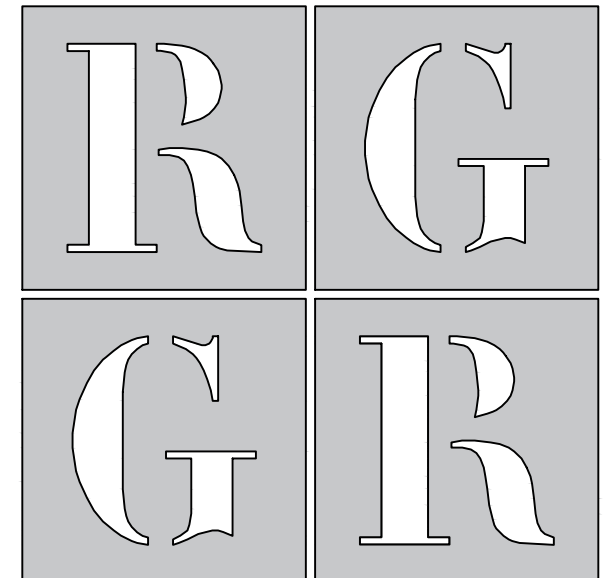


SECOND FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

NOTICE
THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

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ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

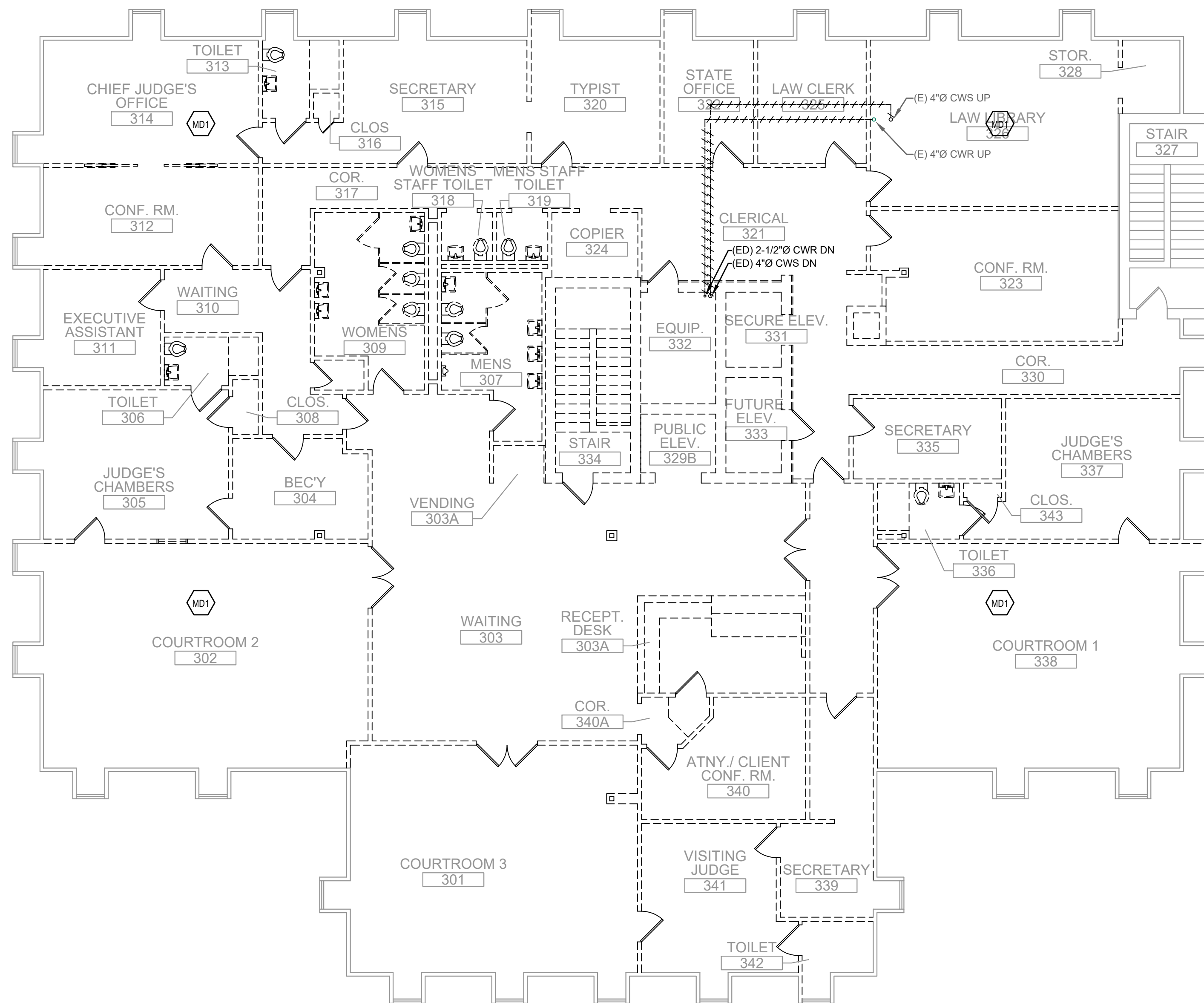
demolition
plan: second
floor-
mechanical
md.2

MECHANICAL DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
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- ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
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- MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

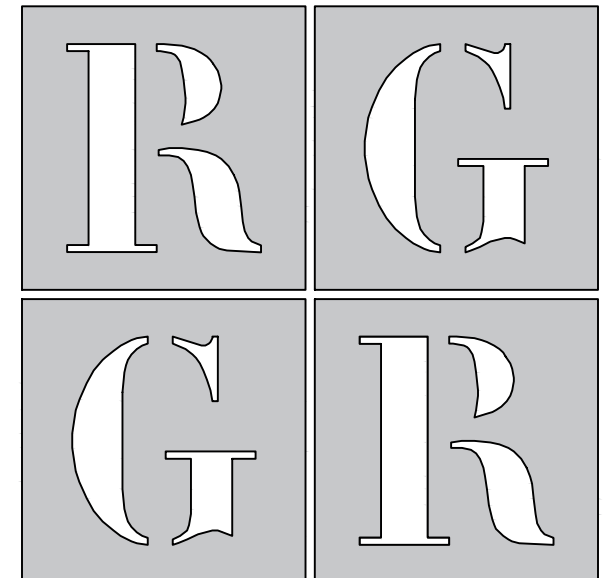
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- MD5 EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6 ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.



THIRD FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

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ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:
PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

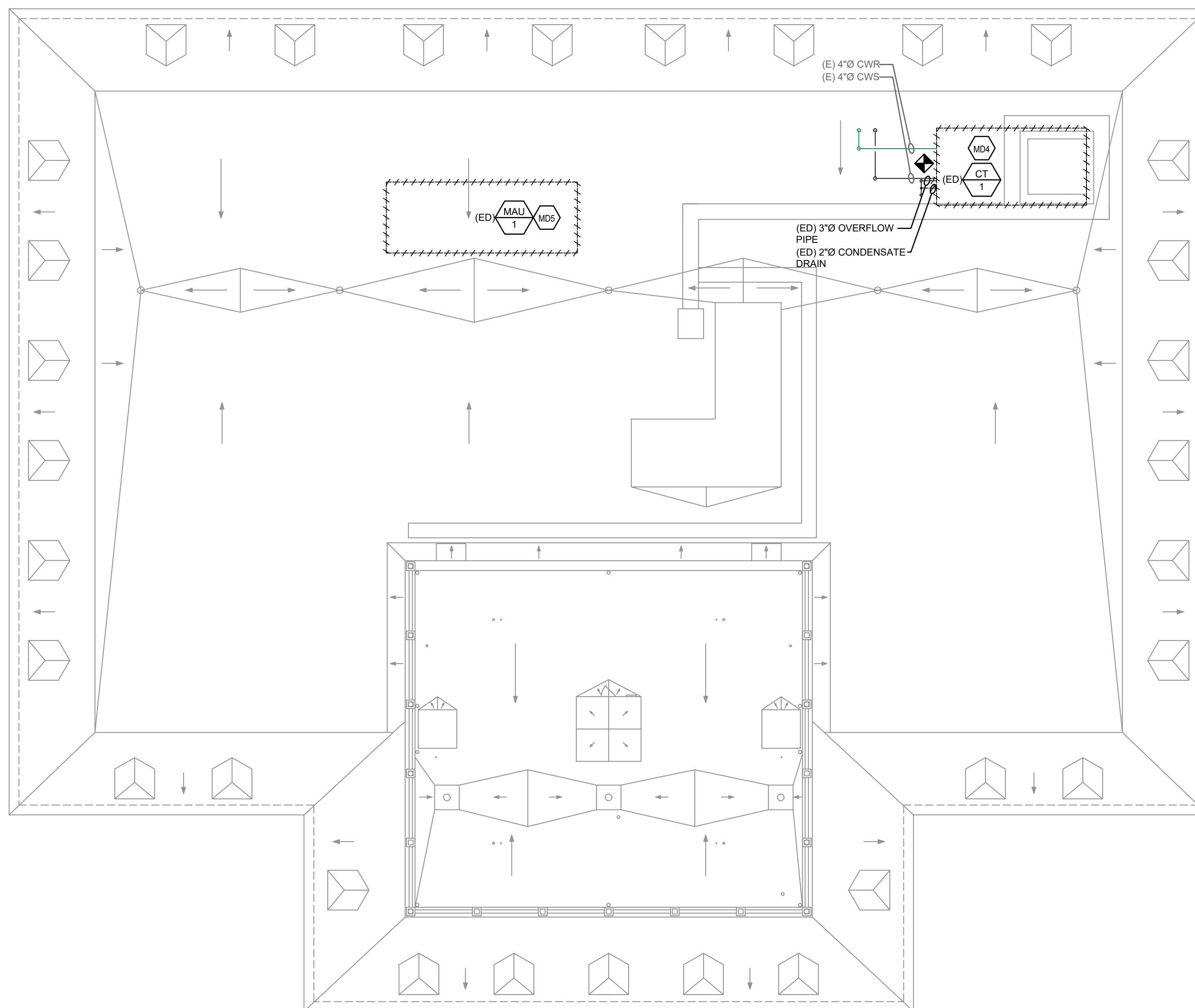
demolition
plan: third
floor-
mechanical
md.3

MECHANICAL DEMOLITION NOTES:

1. CONTRACTOR SHALL PERFORM PRE-CONSTRUCTION HYDRONIC MEASUREMENTS AT ALL THE AIR HANDLING UNITS, FAN COIL UNITS, TERMINAL UNITS, AND ANY OTHER EQUIPMENT NOT SPECIFICALLY IDENTIFIED ON THE EXISTING HYDRONIC SYSTEM. CONTRACTOR SHALL PREPARE A REPORT AND INDICATE ALL FLOW RATES (GPM), UNIT TAG INFORMATION, UNIT NUMBERS AND ANY SPECIFIC SERVICE RELATED ISSUES THAT IMPACT FLOW MEASUREMENT READINGS. CONTRACTOR SHALL INCLUDE ALL ASSOCIATED PUMPING INFORMATION (GPM, HEAD PRESSURES, AND TAG INFORMATION)
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5. GENERAL CONTRACTOR TO PATCH/REPAIR EXISTING WALL/CEILINGS AS REQUIRED BY THE ARCHITECT.
6. MECHANICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

MECHANICAL DEMOLITION NOTES:

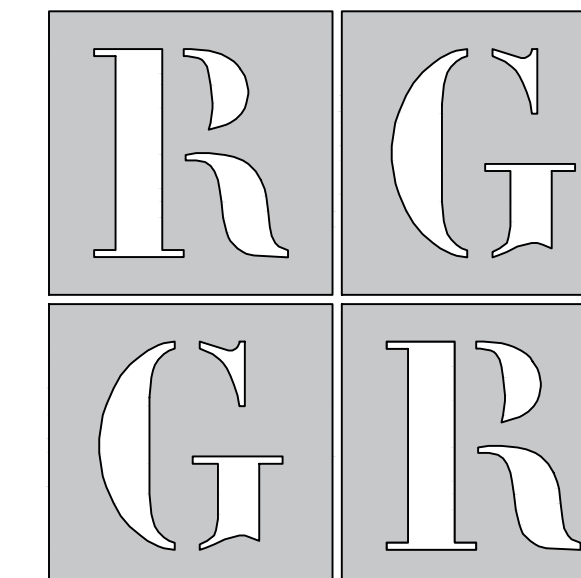
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- MD5. EXISTING MAKE-UP AIR UNIT ON ROOF TO BE DEMOLISHED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO DUCTWORK, ROOF CURB, POWER AND CONTROL WIRING, AND ANY ACCESSORIES. CONTRACTOR TO PATCH/REPAIR ROOF TO MATCH EXISTING CONDITIONS AS REQUIRED BY ARCHITECT.
- MD6. ALL EXISTING CONDENSER WATER SUPPLY/RETURN PIPING FROM MECHANICAL ROOM IS TO REMAIN. ALL EXISTING PIPING OUTSIDE OF THE MECHANICAL ROOM IS TO BE DEMOLISHED.



ROOF PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

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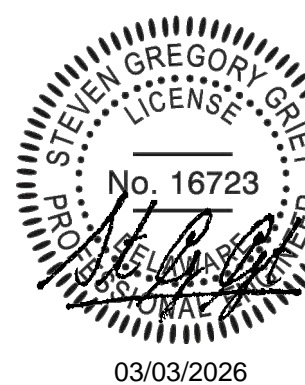
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PILOTTOWN ENGINEERING



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ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

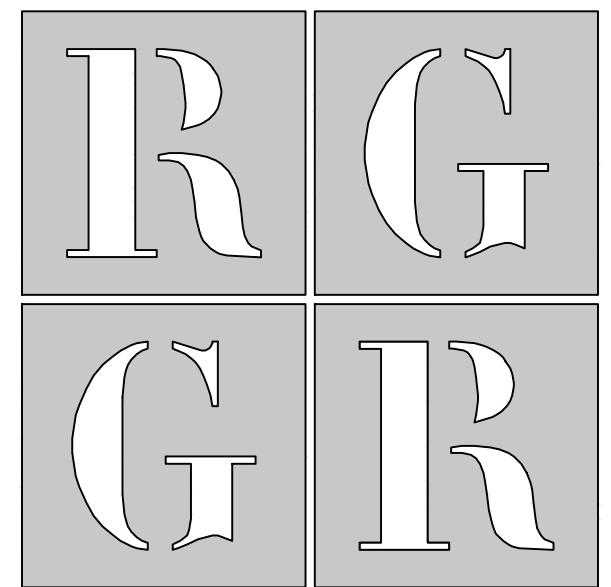
SHEET INFO:

PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
plan: fourth
floor-
mechanical

md.4



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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:

PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 first floor-
 plumbing
 pd.1

PLUMBING DEMOLITION KEYNOTES:

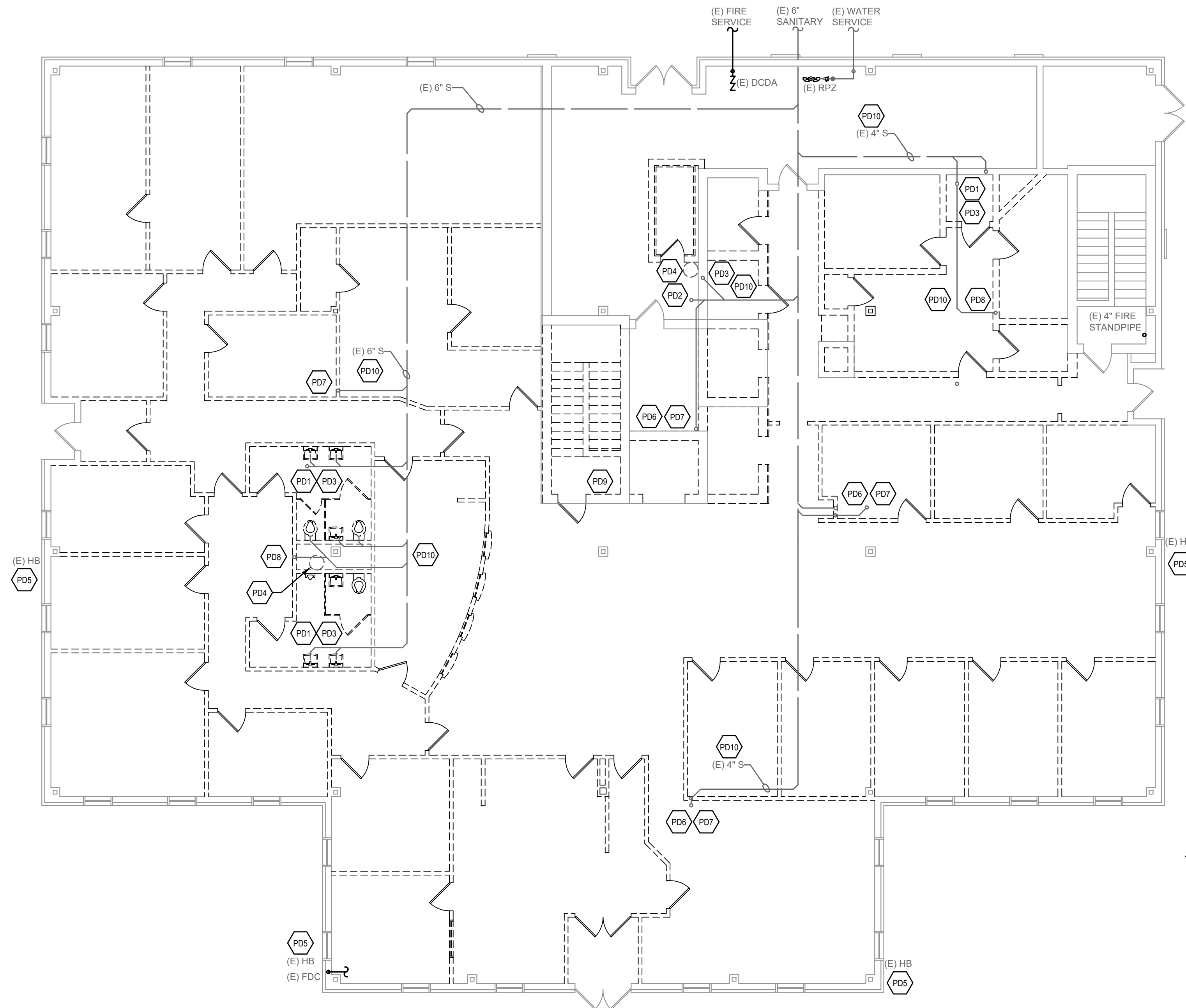
- PD1 THE CONTRACTOR SHALL DEMOLISH ALL THE EXISTING PLUMBING FIXTURES, FAUCETS, TRAPS, VALVES, TRIM, SUPPLIES, ETC. IN BATHROOM GROUP.
- PD2 THE CONTRACTOR SHALL DEMOLISH THE EXISTING MOP/SERVICE SINK, FAUCET AND ALL ASSOCIATED DEVICES.
- PD3 THE CONTRACTOR SHALL DEMOLISH ALL SANITARY WASTE, SANITARY VENT AND DOMESTIC HOT AND COLD WATER PIPING.
- PD4 THE CONTRACTOR SHALL DEMOLISH THE EXISTING WATER HEATER, EXPANSION TANK, BALL VALVES AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD5 THE CONTRACTOR SHALL DEMOLISH THE EXISTING HOSE BIB, DOMESTIC WATER PIPING, VALVES AND ALL ASSOCIATED DEVICES.
- PD6 THE CONTRACTOR SHALL DEMOLISH THE EXISTING HOT AND COLD DOMESTIC WATER RISERS, ISOLATION VALVES AND ALL ASSOCIATED DEVICES.
- PD7 THE CONTRACTOR SHALL DEMOLISH THE EXISTING SANITARY WASTE STACK & VENT PIPING. CONTRACTOR SHALL FIELD COORDINATE CAPPING EXISTING SANITARY BRANCH PIPING. COORDINATE WITH ROOFING CONTRACTOR TO PROPERLY SEAL ANY REMOVED VTR PENETRATIONS.
- PD8 THE CONTRACTOR SHALL DEMOLISH THE EXISTING EWC, TRAP, SUPPLY, VALVE AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD9 THE CONTRACTOR SHALL DEMOLISH THE EXISTING FIRE STANDPIPE, AND ASSOCIATED DEVICES.
- PD10 THE CONTRACTOR SHALL FIELD COORDINATE DEMO AND CAPPING OF THE EXISTING UNDERGROUND SANITARY BRANCH PIPING BACK TO THE MAIN.

SPRINKLER DEMOLITION NOTE:

ALL WORK IS TO BE PERFORMED BY LICENSED FIRE PROTECTION CONTRACTOR. THE SPRINKLER SYSTEM SHALL BE REMOVED IN ITS ENTIRETY. COMPONENTS IN THE SERVICE ENTRANCE SHALL REMAIN. EXISTING FIRE STANDPIPE IN STAIR TOWER SHALL REMAIN DURING CONSTRUCTION.

GENERAL PLUMBING DEMOLITION NOTES:

1. EXISTING SANITARY & DOMESTIC WATER PIPING LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)
2. IT SHALL BE THE INTENTION TO REMOVE ALL EXISTING PLUMBING FIXTURES AND PLUMBING SYSTEMS IN THEIR ENTIRETY AS NOTED ON THE PLANS.
3. IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
4. ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
5. ALL DEMOLISHED SYSTEMS SHALL BE COMPLETELY REMOVED AND CLEANED LEAVING NO ABANDONED MATERIAL.
6. THE SCOPE OF PLUMBING DEMOLITION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. ALL EXISTING FIXTURES, FAUCETS, FLUSH VALVES, TRAPS, HANGERS, STOPS, ETC.
 - B. EXISTING SANITARY AND VENT PIPING AS NOTED ON PLANS. INCLUDING PIPING, HANGERS, FITTINGS, SLEEVES, ETC.
 - C. EXISTING DOMESTIC WATER PIPING AS NOTED ON PLANS. INCLUDING COLD WATER, HOT WATER SUPPLY AND HOT WATER RETURN PIPING, HANGERS, FITTINGS, VALVES, WATER HEATERS, TANKS, PUMPS, CONTROLS, WIRING, SLEEVES, ETC.



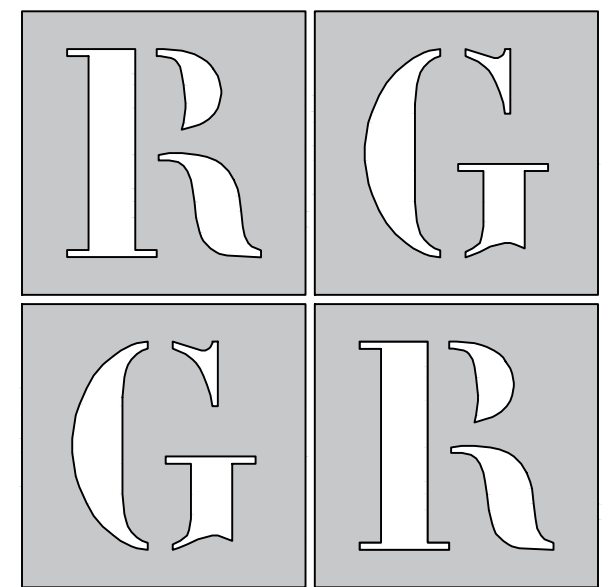
FIRST FLOOR PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

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SHEET INFO:

PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition plan:
 second floor-plumbing
 pd.2

PLUMBING DEMOLITION KEYNOTES:

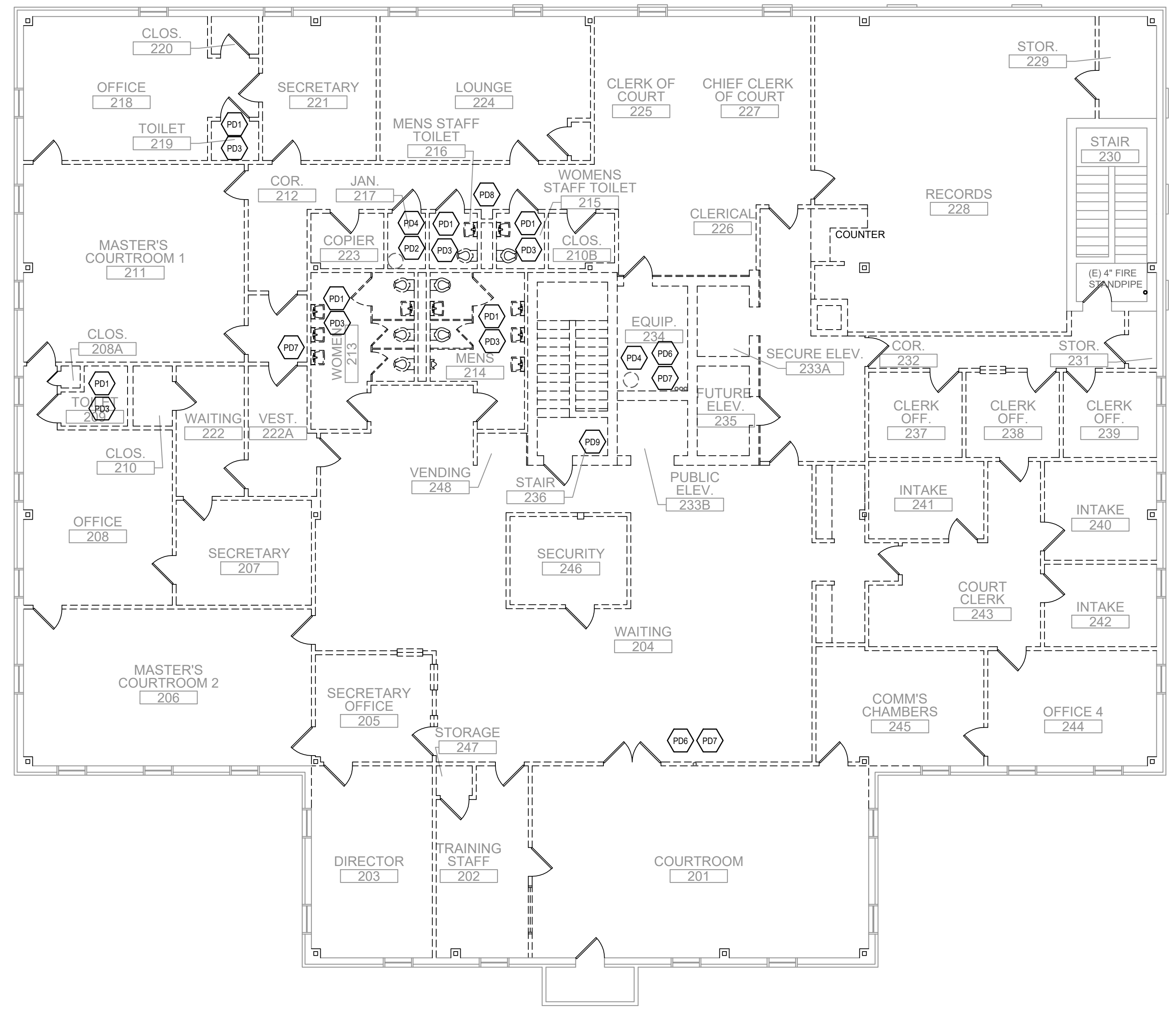
- PD1 THE CONTRACTOR SHALL DEMOLISH ALL THE EXISTING PLUMBING FIXTURES, FAUCETS, TRAPS, VALVES, TRIM, SUPPLIES, ETC. IN BATHROOM GROUP.
- PD2 THE CONTRACTOR SHALL DEMOLISH THE EXISTING MOP/SERVICE SINK, FAUCET AND ALL ASSOCIATED DEVICES.
- PD3 THE CONTRACTOR SHALL DEMOLISH ALL SANITARY WASTE, SANITARY VENT AND DOMESTIC HOT AND COLD WATER PIPING.
- PD4 THE CONTRACTOR SHALL DEMOLISH THE EXISTING WATER HEATER, EXPANSION TANK, BALL VALVES AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD5 THE CONTRACTOR SHALL DEMOLISH THE EXISTING HOSE BIB, DOMESTIC WATER PIPING, VALVES AND ALL ASSOCIATED DEVICES.
- PD6 THE CONTRACTOR SHALL DEMOLISH THE EXISTING HOT AND COLD DOMESTIC WATER RISERS, ISOLATION VALVES AND ALL ASSOCIATED DEVICES.
- PD7 THE CONTRACTOR SHALL DEMOLISH THE EXISTING SANITARY WASTE STACK & VENT PIPING. CONTRACTOR SHALL FIELD COORDINATE CAPPING EXISTING SANITARY BRANCH PIPING. COORDINATE WITH ROOFING CONTRACTOR TO PROPERLY SEAL ANY REMOVED VTR PENETRATIONS.
- PD8 THE CONTRACTOR SHALL DEMOLISH THE EXISTING EWC, TRAP, SUPPLY, VALVE AND ALL ASSOCIATED DEVICES. COORDINATE WITH ELECTRICAL CONTRACTOR FOR DISCONNECTION OF ELECTRICAL.
- PD9 THE CONTRACTOR SHALL DEMOLISH THE EXISTING FIRE STANDPIPE, AND ASSOCIATED DEVICES.
- PD10 THE CONTRACTOR SHALL FIELD COORDINATE DEMO AND CAPPING OF THE EXISTING UNDERGROUND SANITARY BRANCH PIPING BACK TO THE MAIN.

SPRINKLER DEMOLITION NOTE:

ALL WORK IS TO BE PERFORMED BY LICENSED FIRE PROTECTION CONTRACTOR. THE SPRINKLER SYSTEM SHALL BE REMOVED IN ITS ENTIRETY. COMPONENTS IN THE SERVICE ENTRANCE SHALL REMAIN. EXISTING FIRE STANDPIPE IN STAIR TOWER SHALL REMAIN DURING CONSTRUCTION.

GENERAL PLUMBING DEMOLITION NOTES:

1. EXISTING SANITARY & DOMESTIC WATER PIPING LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)
2. IT SHALL BE THE INTENTION TO REMOVE ALL EXISTING PLUMBING FIXTURES AND PLUMBING SYSTEMS IN THEIR ENTIRETY AS NOTED ON THE PLANS.
3. IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
4. ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
5. ALL DEMOLISHED SYSTEMS SHALL BE COMPLETELY REMOVED AND CLEANED LEAVING NO ABANDONED MATERIAL.
6. THE SCOPE OF PLUMBING DEMOLITION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. ALL EXISTING FIXTURES, FAUCETS, FLUSH VALVES, TRAPS, HANGERS, STOPS, ETC.
 - B. EXISTING SANITARY AND VENT PIPING AS NOTED ON PLANS, INCLUDING PIPING, HANGERS, FITTINGS, SLEEVES, ETC.
 - C. EXISTING DOMESTIC WATER PIPING AS NOTED ON PLANS, INCLUDING COLD WATER, HOT WATER SUPPLY AND HOT WATER RETURN PIPING, HANGERS, FITTINGS, VALVES, WATER HEATERS, TANKS, PUMPS, CONTROLS, WIRING, SLEEVES, ETC.



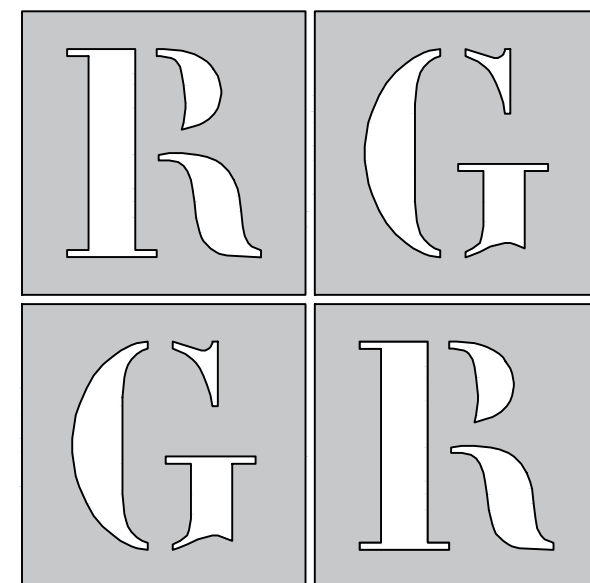
SECOND FLOOR PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

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R G Architects, LLC
 200 W. Main St., Middletown, DE 19709
 www.rgarchitects.net
 302.376.8100



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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:
 Old Family Courthouse -
 Interior Renovations
 Bid Package #1
 Selective Demolition

22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:
 PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 third floor-
 plumbing

pd.3

PLUMBING DEMOLITION KEYNOTES:

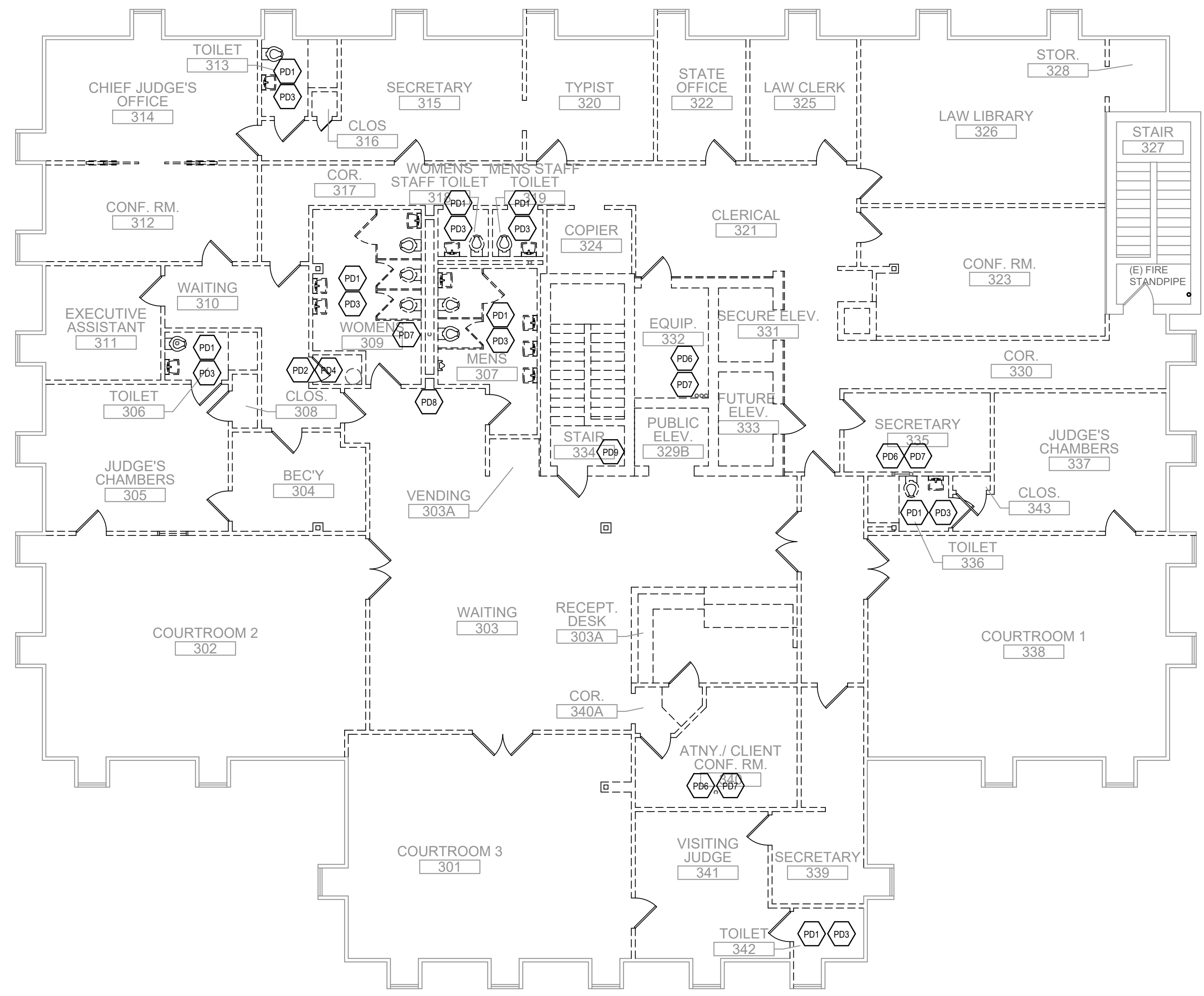
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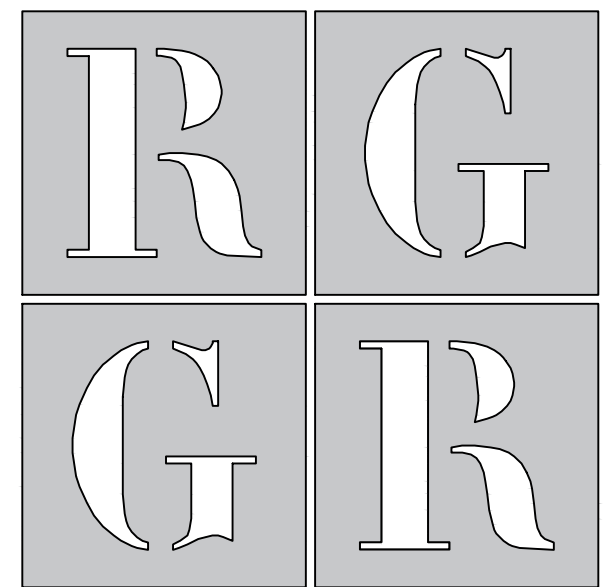


THIRD FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

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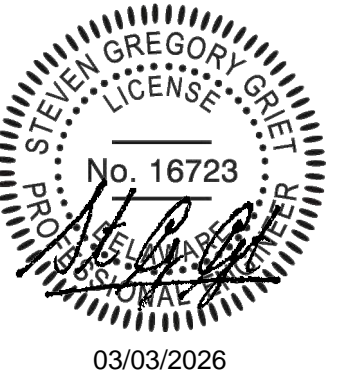
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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

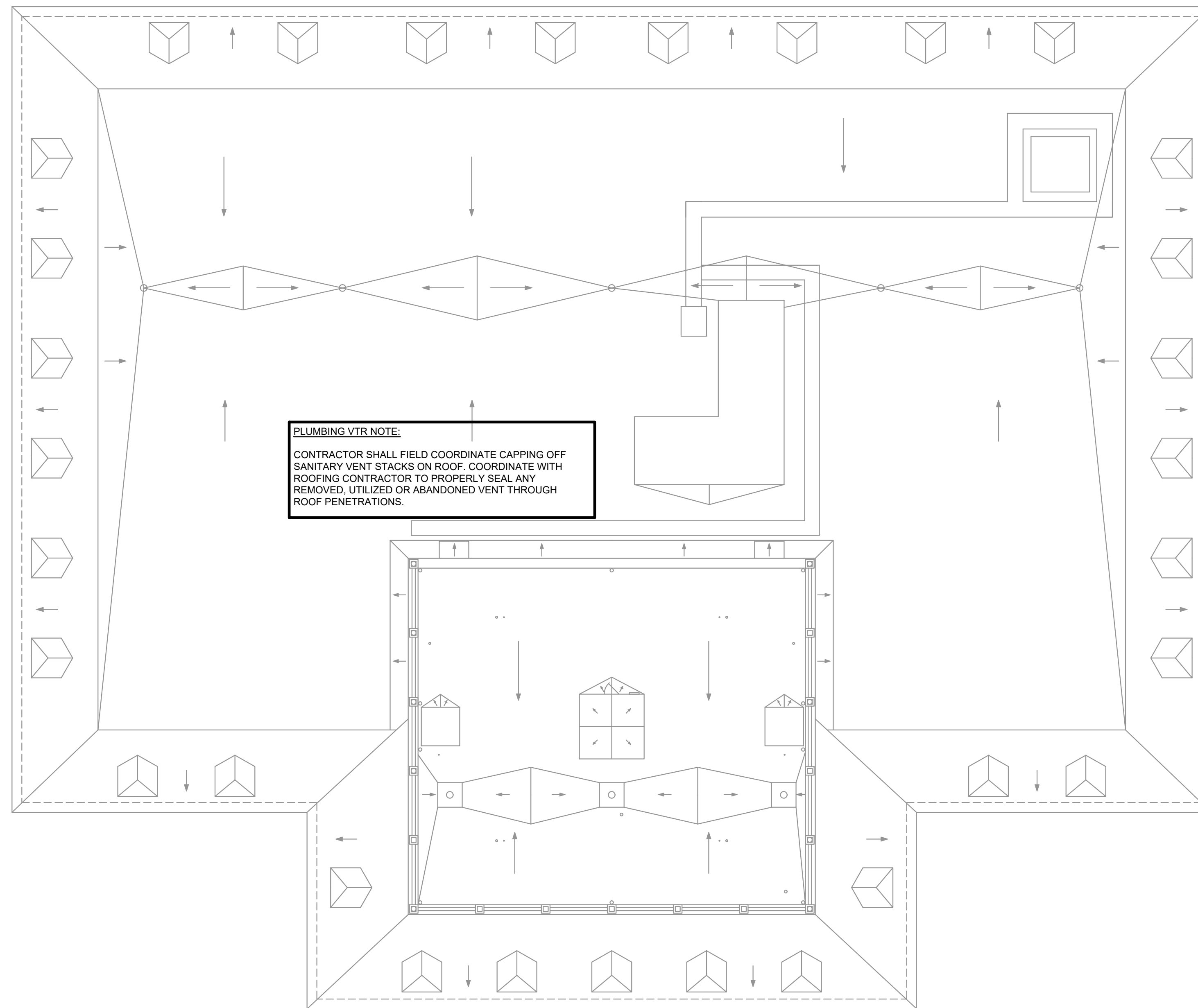
22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:
 PROJECT NO: 25022
 DRAWN BY: DN/RB/GL
 CHECKED BY: JB
 SCALE: AS NOTED
 DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
 plan:
 roof-
 plumbing

pd.4



PLUMBING VTR NOTE:
 CONTRACTOR SHALL FIELD COORDINATE CAPPING OFF SANITARY VENT STACKS ON ROOF. COORDINATE WITH ROOFING CONTRACTOR TO PROPERLY SEAL ANY REMOVED, UTILIZED OR ABANDONED VENT THROUGH ROOF PENETRATIONS.

ROOF PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

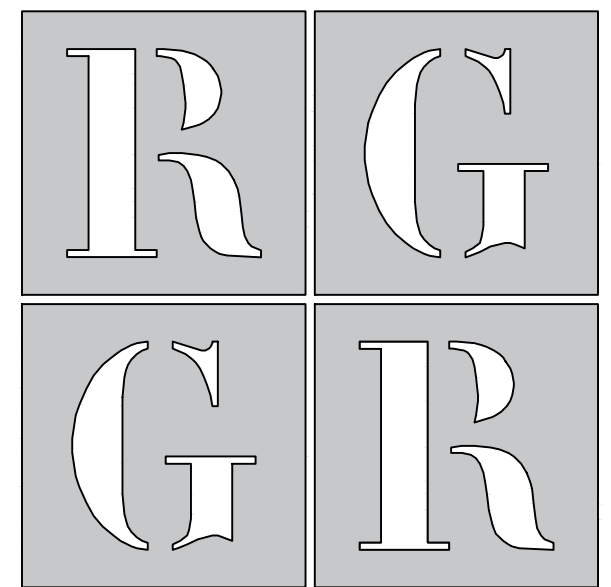
GENERAL PLUMBING DEMOLITION NOTES:

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- IT SHALL BE THE INTENTION TO REMOVE ALL EXISTING PLUMBING FIXTURES AND PLUMBING SYSTEMS IN THEIR ENTIRETY AS NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO VISIT THE SITE IN ORDER TO BEST UNDERSTAND THE SCOPE OF THE DEMOLITION WORK.
- ALL DEMOLISHED MATERIALS SHALL BE RECYCLED WHEREVER POSSIBLE. ANY HAZARDOUS MATERIALS SHALL BE HANDLED ACCORDING TO GOVERNMENT REGULATION AND DISPOSED OF IN A SAFE MANNER.
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ISSUED FOR:
 BID 27 FEBRUARY 2026

PROJECT INFO:
Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
 Georgetown, DE 19947
 Parcel ID: 135-19.08-77.00
 Georgetown Hundred
 Town of Georgetown
 Sussex County

SHEET INFO:
 PROJECT NO: 25022
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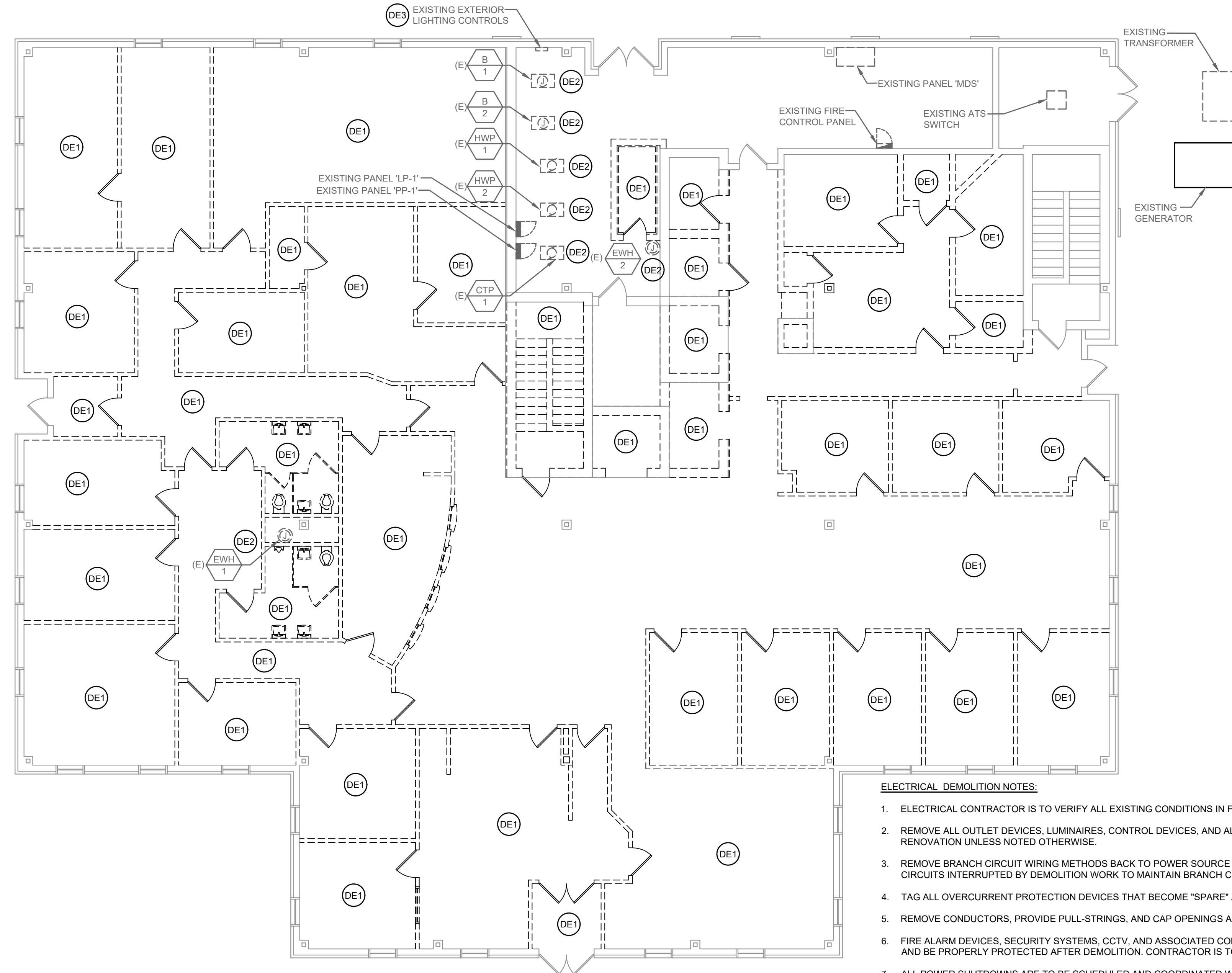
TITLE & NO.:

demolition
 plan:
 first floor-
 electrical

ed.1

ELECTRICAL DEMOLITION DRAWING NOTES

- (DE1) UNLESS OTHERWISE NOTED, ALL EXISTING OUTLET DEVICES (LIGHTING, DATA/TELEPHONE, RECEPTACLES, ETC.) ARE TO BE REMOVED AND ALL WIRING METHODS ARE TO BE REMOVED TO THEIR POINT OF ORIGIN.
- (DE2) INDICATES EXISTING EQUIPMENT TO REMAIN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE NEW DISCONNECTING MEANS AND WIRING METHODS AS REQUIRED TO REFEED EXISTING EQUIPMENT TO TEMPORARY PANELS.
- (DE3) ENSURE ALL EXTERIOR LIGHTING AND CONTROLS ARE EXISTING TO REMAIN. PROVIDE ANY AND ALL TEMPORARY WIRING AS NEEDED.



- ELECTRICAL DEMOLITION NOTES:**
1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
 2. REMOVE ALL OUTLET DEVICES, LUMINAIRES, CONTROL DEVICES, AND ALL ASSOCIATED WIRING METHODS IN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
 3. REMOVE BRANCH CIRCUIT WIRING METHODS BACK TO POWER SOURCE OR TO ITS NEAREST ACTIVE DEVICE. RE-ENERGIZE ALL CIRCUITS INTERRUPTED BY DEMOLITION WORK TO MAINTAIN BRANCH CIRCUIT CONTINUITY.
 4. TAG ALL OVERCURRENT PROTECTION DEVICES THAT BECOME "SPARE" AS A RESULT OF DEMOLITION WORK.
 5. REMOVE CONDUCTORS, PROVIDE PULL-STRINGS, AND CAP OPENINGS AND CONDUITS THAT ARE NOT TO BE RE-USED.
 6. FIRE ALARM DEVICES, SECURITY SYSTEMS, CCTV, AND ASSOCIATED COMMUNICATION SYSTEMS ARE TO REMAIN IN OPERATION AND BE PROPERLY PROTECTED AFTER DEMOLITION. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
 7. ALL POWER SHUTDOWNS ARE TO BE SCHEDULED AND COORDINATED WITH OWNER.
 8. IT IS THE INTENT TO REMOVE ALL ELECTRICAL DEVICES WHICH INTERFERE WITH THE NEW CONSTRUCTION WORK OR DEMOLITION WORK WHETHER SPECIFICALLY IDENTIFIED OR NOT.
 9. PANEL 'LP-1' AND 'PP-1' ARE EXISTING TO REMAIN FOR TEMPORARY USE DURING CONSTRUCTION. IT IS THE INTENT TO REMOVE THESE PANELS ALONG WITH ALL ASSOCIATED WIRING AND REPLACE THEM AT THE END OF CONSTRUCTION.
 10. IT IS THE INTENT THAT ALL EXTERIOR SITE LIGHTING AND ASSOCIATED CONTROLS ARE EXISTING TO REMAIN. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
 11. ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

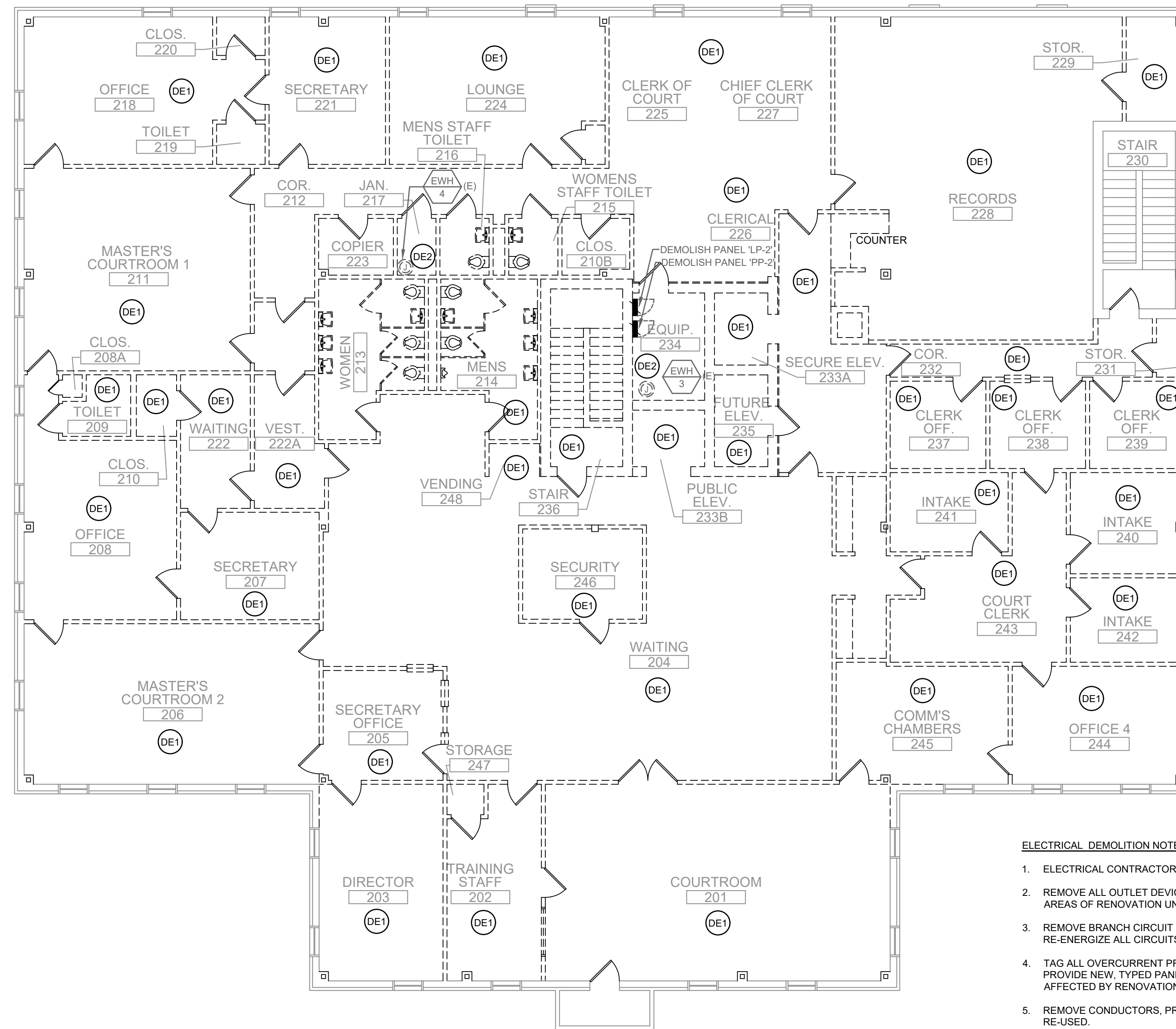
FIRST FLOOR PLAN - DEMOLITION
 SCALE: 1/8"=1'-0"

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ELECTRICAL DEMOLITION DRAWING NOTES

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- DE2 INDICATES EXISTING EQUIPMENT TO REMAIN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE NEW DISCONNECTING MEANS AND WIRING METHODS AS REQUIRED TO REFEED EXISTING EQUIPMENT TO TEMPORARY PANELS.



SECOND FLOOR PLAN - DEMOLITION
SCALE: 1/8"=1'-0"

- ELECTRICAL DEMOLITION NOTES:**
- ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
 - REMOVE ALL OUTLET DEVICES, LUMINAIRES, CONTROL DEVICES, AND ALL ASSOCIATED WIRING METHODS IN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
 - REMOVE BRANCH CIRCUIT WIRING METHODS BACK TO POWER SOURCE OR TO ITS NEAREST ACTIVE DEVICE. RE-ENERGIZE ALL CIRCUITS INTERRUPTED BY DEMOLITION WORK TO MAINTAIN BRANCH CIRCUIT CONTINUITY.
 - TAG ALL OVERCURRENT PROTECTION DEVICES THAT BECOME "SPARE" AS A RESULT OF DEMOLITION WORK. PROVIDE NEW, TYPED PANELBOARD DIRECTORIES FOR ALL DISTRIBUTION AND BRANCH CIRCUIT EQUIPMENT AFFECTED BY RENOVATION WORK.
 - REMOVE CONDUCTORS, PROVIDE PULL-STRINGS, AND CAP OPENINGS AND CONDUITS THAT ARE NOT TO BE RE-USED.
 - FIRE ALARM DEVICES, SECURITY SYSTEMS, CCTV, AND ASSOCIATED COMMUNICATION SYSTEMS ARE TO REMAIN IN OPERATION AND BE PROPERLY PROTECTED AFTER DEMOLITION. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
 - ALL POWER SHUTDOWNS ARE TO BE SCHEDULED AND COORDINATED WITH OWNER.
 - IT IS THE INTENT TO REMOVE ALL ELECTRICAL DEVICES WHICH INTERFERE WITH THE NEW CONSTRUCTION WORK OR DEMOLITION WORK WHETHER SPECIFICALLY IDENTIFIED OR NOT.
 - ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

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ENGINEERING ASSOCIATES INC.

PILOTTOWN
ENGINEERING

Professional seal for Stephen Gregory Grier, License No. 16723, dated 03/03/2026.

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ISSUED FOR:
BID 27 FEBRUARY 2026

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22 The Circle
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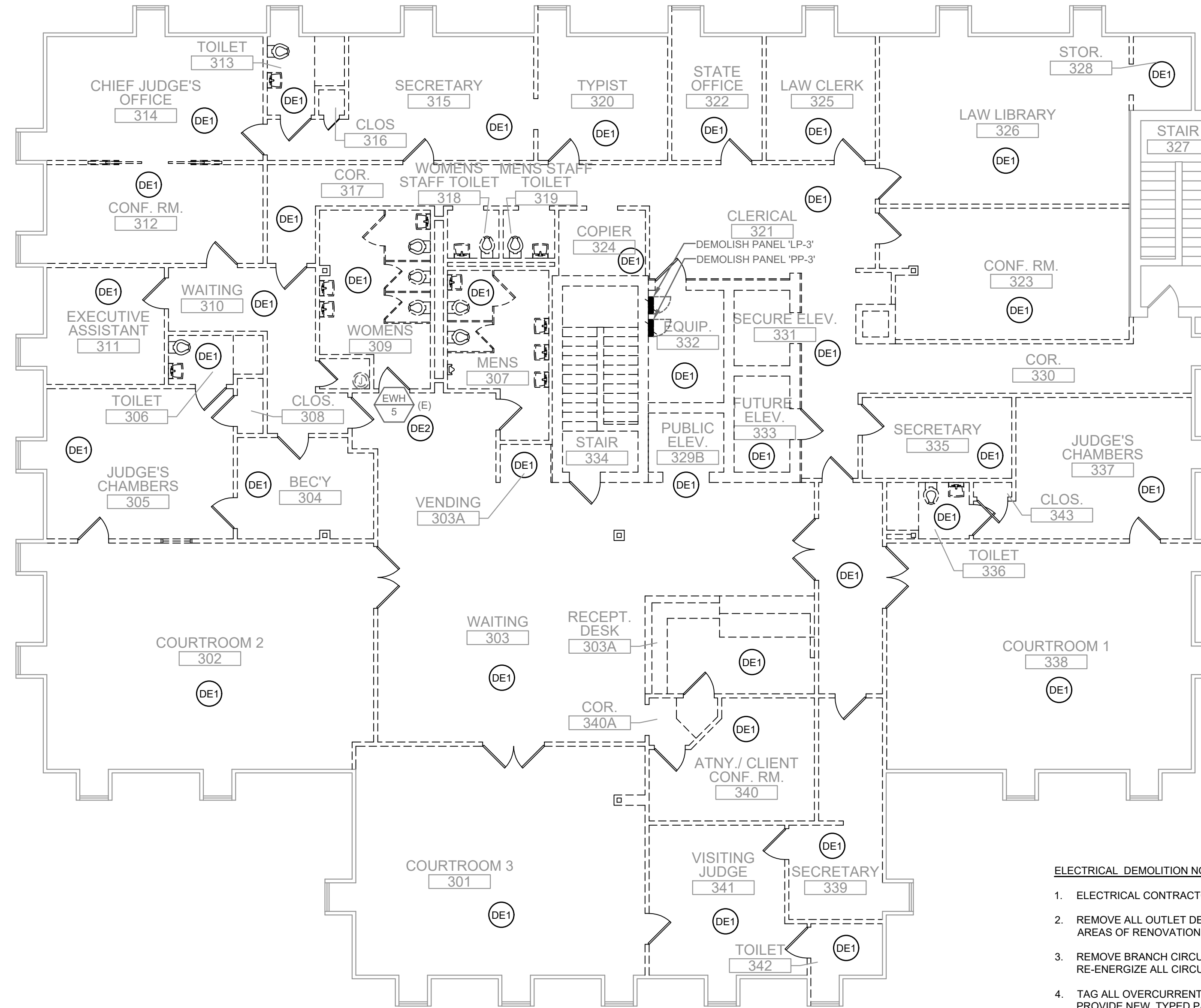
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SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:
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demolition plan:
second floor-
electrical
ed.2

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- DE1 UNLESS OTHERWISE NOTED, ALL EXISTING OUTLET DEVICES (LIGHTING, DATA/TELEPHONE, RECEPTACLES, ETC.) ARE TO BE REMOVED AND ALL WIRING METHODS ARE TO BE REMOVED TO THEIR POINT OF ORIGIN.
- DE2 INDICATES EXISTING EQUIPMENT TO REMAIN. THE ELECTRICAL CONTRACTOR IS TO PROVIDE NEW DISCONNECTING MEANS AND WIRING METHODS AS REQUIRED TO REFEED EXISTING EQUIPMENT TO TEMPORARY PANELS.



THIRD FLOOR PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

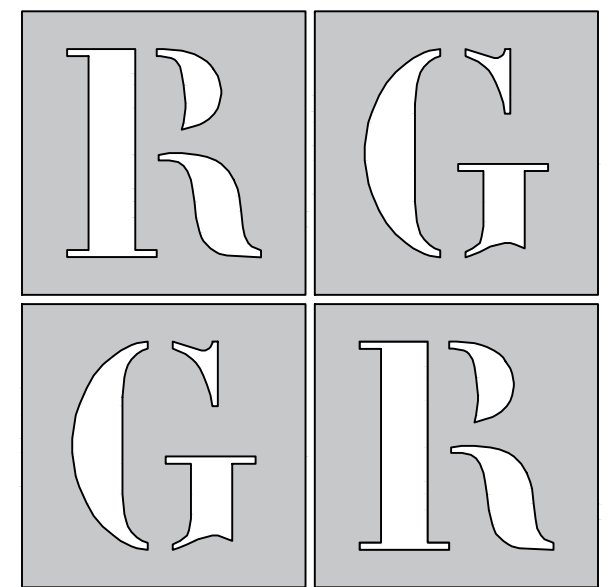
ELECTRICAL DEMOLITION NOTES:

1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
2. REMOVE ALL OUTLET DEVICES, LUMINAIRES, CONTROL DEVICES, AND ALL ASSOCIATED WIRING METHODS IN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
3. REMOVE BRANCH CIRCUIT WIRING METHODS BACK TO POWER SOURCE OR TO ITS NEAREST ACTIVE DEVICE. RE-ENERGIZE ALL CIRCUITS INTERRUPTED BY DEMOLITION WORK TO MAINTAIN BRANCH CIRCUIT CONTINUITY.
4. TAG ALL OVERCURRENT PROTECTION DEVICES THAT BECOME "SPARE" AS A RESULT OF DEMOLITION WORK. PROVIDE NEW, TYPED PANELBOARD DIRECTORIES FOR ALL DISTRIBUTION AND BRANCH CIRCUIT EQUIPMENT AFFECTED BY RENOVATION WORK.
5. REMOVE CONDUCTORS, PROVIDE PULL-STRINGS, AND CAP OPENINGS AND CONDUITS THAT ARE NOT TO BE RE-USED.
6. FIRE ALARM DEVICES, SECURITY SYSTEMS, CCTV, AND ASSOCIATED COMMUNICATION SYSTEMS ARE TO REMAIN IN OPERATION AND BE PROPERLY PROTECTED AFTER DEMOLITION. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
7. ALL POWER SHUTDOWNS ARE TO BE SCHEDULED AND COORDINATED WITH OWNER.
8. IT IS THE INTENT TO REMOVE ALL ELECTRICAL DEVICES WHICH INTERFERE WITH THE NEW CONSTRUCTION WORK OR DEMOLITION WORK WHETHER SPECIFICALLY IDENTIFIED OR NOT.
9. ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

NOTICE
THE SCHEDULES AND DRAWINGS REPRESENT ONLY CERTAIN REQUIREMENTS OF THE PROJECT. THERE ARE ADDITIONAL REQUIREMENTS IN THE SPECIFICATIONS BOOKLET WHICH THE CONTRACTOR IS BOUND TO PROVIDE. A SUPPLIER OR CONTRACTOR'S PRICING, WHICH IS BASED ONLY ON DRAWINGS OR SCHEDULES, MAY LEAVE IMPORTANT COSTS UNACCOUNTED FOR WHICH WILL ULTIMATELY BE THE CONTRACTOR OR SUPPLIER'S RESPONSIBILITY TO PROVIDE.

IMPORTANT - DO NOT DISTRIBUTE -
NOTE: THESE DRAWINGS ARE CONFIDENTIAL FOR OFFICIAL USE ONLY, NOT FOR PUBLIC DISTRIBUTION. A DETERMINATION HAS BEEN MADE THAT THE PUBLICATION OF THESE PLANS COULD COMPROMISE PUBLIC SAFETY AND ARE NOT AVAILABLE PURSUANT TO DELAWARE CODE, TITLE 29, §10002 (1)(17)(b)(2) AND (3).



ARCHITECTS
R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100



The professional services of the Architect are undertaken for and performed in the interest of the State of Delaware. No contractual obligation is assumed for the benefit of any other person involved in the project.

ISSUED FOR:
BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19.08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

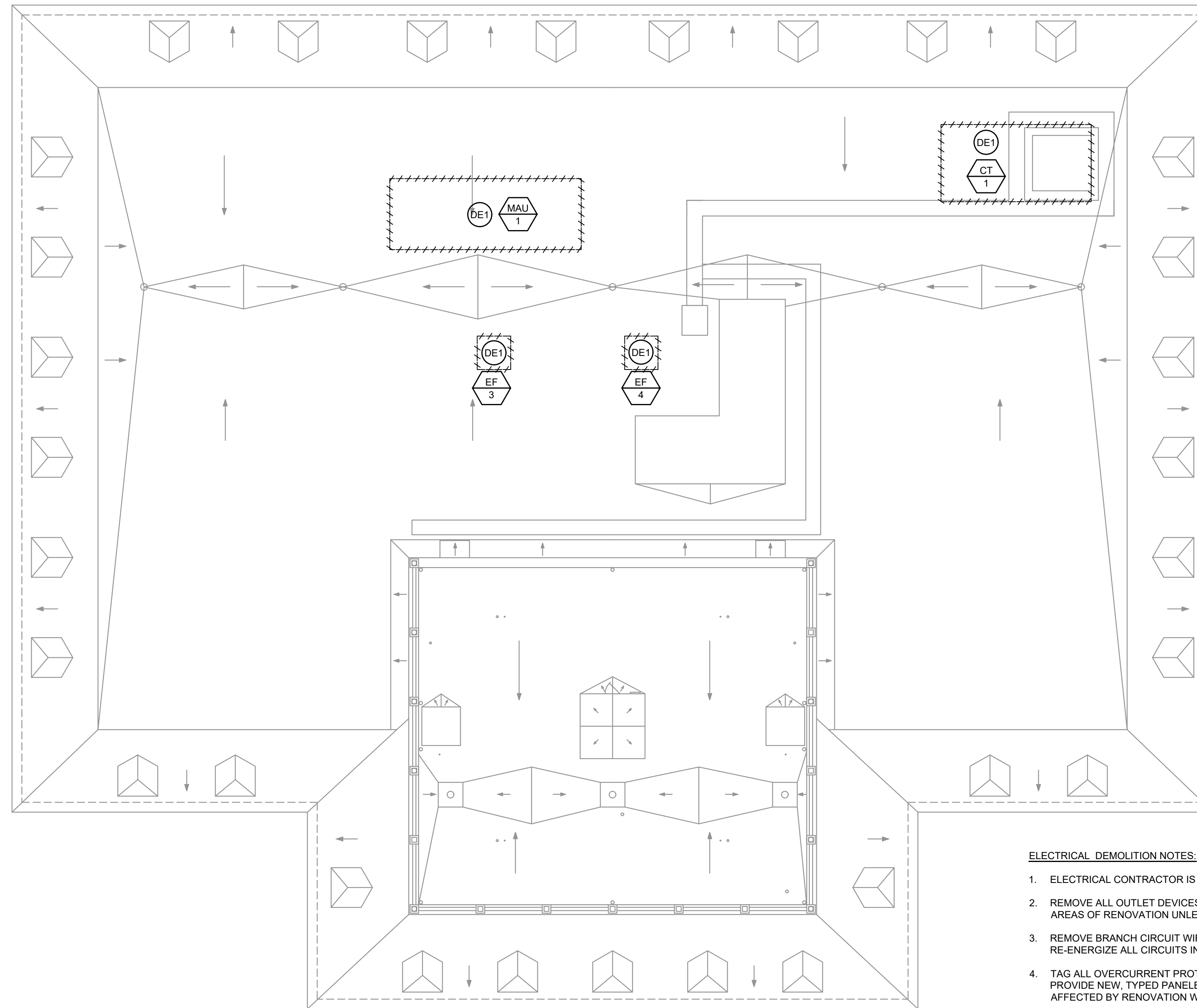
PROJECT NO: 25022
DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

demolition
plan:
third floor-
electrical
ed.3

ELECTRICAL DEMOLITION DRAWING NOTES

(DE1) UNLESS OTHERWISE NOTED, ALL EXISTING DEVICES ARE TO BE REMOVED AND ALL WIRING METHODS ARE TO BE REMOVED TO THEIR POINT OF ORIGIN.



ROOF PLAN - DEMOLITION

SCALE: 1/8"=1'-0"

ELECTRICAL DEMOLITION NOTES:

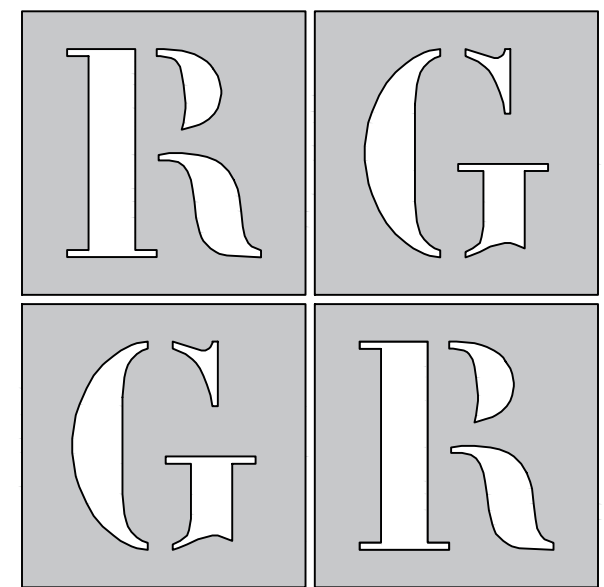
1. ELECTRICAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR ANY WORK.
2. REMOVE ALL OUTLET DEVICES, LUMINAIRES, CONTROL DEVICES, AND ALL ASSOCIATED WIRING METHODS IN AREAS OF RENOVATION UNLESS NOTED OTHERWISE.
3. REMOVE BRANCH CIRCUIT WIRING METHODS BACK TO POWER SOURCE OR TO ITS NEAREST ACTIVE DEVICE. RE-ENERGIZE ALL CIRCUITS INTERRUPTED BY DEMOLITION WORK TO MAINTAIN BRANCH CIRCUIT CONTINUITY.
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6. FIRE ALARM DEVICES, SECURITY SYSTEMS, CCTV, AND ASSOCIATED COMMUNICATION SYSTEMS ARE TO REMAIN IN OPERATION AND BE PROPERLY PROTECTED AFTER DEMOLITION. CONTRACTOR IS TO MODIFY EXISTING WIRING ARRANGEMENT TO COMPLY.
7. ALL POWER SHUTDOWNS ARE TO BE SCHEDULED AND COORDINATED WITH OWNER.
8. IT IS THE INTENT TO REMOVE ALL ELECTRICAL DEVICES WHICH INTERFERE WITH THE NEW CONSTRUCTION WORK OR DEMOLITION WORK WHETHER SPECIFICALLY IDENTIFIED OR NOT.
9. ELECTRICAL LAYOUT SHOWN IS REFERENCED FROM ORIGINAL PLANS DATED (4 APR 1986)

THE DELIVERY OF THIS DRAWING SHOULD NOT BE CONSTRUED TO PROVIDE AN EXPRESS WARRANTY OR GUARANTEE TO ANYONE THAT ALL THE DIMENSIONS AND DETAILS ARE EXACT OR TO INDICATE THAT THE USE OF THIS DRAWING IMPLIES THE REVIEW AND APPROVAL BY THE DESIGN PROFESSIONAL OF ANY FUTURE USE. ANY USE OF THIS INFORMATION WITHOUT THE WRITTEN APPROVAL BY THE DESIGN PROFESSIONAL IS AT THE SOLE RISK AND LIABILITY OF THE USER. THE DESIGN PROFESSIONAL RESERVES THE RIGHT TO REMOVE OUR PROFESSIONAL SEAL AND/OR TITLE BLOCK.

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IMPORTANT - DO NOT DISTRIBUTE -
NOTE: THESE DRAWINGS ARE CONFIDENTIAL FOR OFFICIAL USE ONLY, NOT FOR PUBLIC DISTRIBUTION. A DETERMINATION HAS BEEN MADE THAT THE PUBLICATION OF THESE PLANS COULD COMPROMISE PUBLIC SAFETY AND ARE NOT AVAILABLE PURSUANT TO DELAWARE CODE, TITLE 29, §1002 (1)(17)(b)(2) AND (3).



R G ARCHITECTS
R G Architects, LLC
200 W. Main St., Middletown, DE 19709
www.rgarchitects.net
302.376.8100



PILOTTOWN ENGINEERING



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ISSUED FOR:

BID 27 FEBRUARY 2026

PROJECT INFO:

Old Family Courthouse - Interior Renovations Bid Package #1 Selective Demolition

22 The Circle
Georgetown, DE 19947
Parcel ID: 135-19-08-77.00
Georgetown Hundred
Town of Georgetown
Sussex County

SHEET INFO:

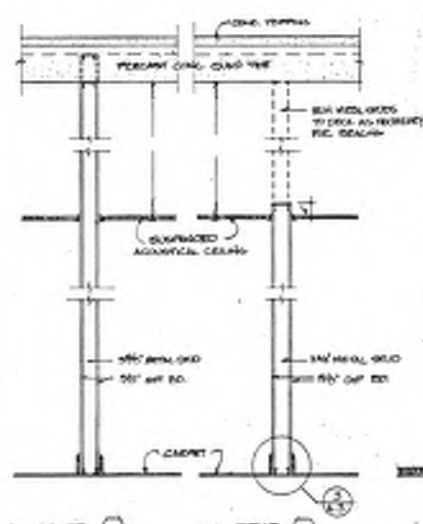
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DRAWN BY: DN/RB/GL
CHECKED BY: JB
SCALE: AS NOTED
DATE: 27 FEBRUARY 2026

TITLE & NO.:

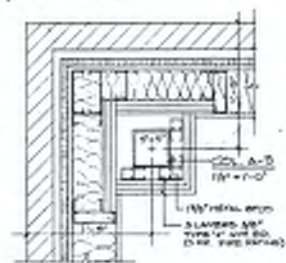
Copyright - R G Architects - 2026

demolition plan: roof - electrical

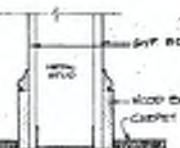
ed.4



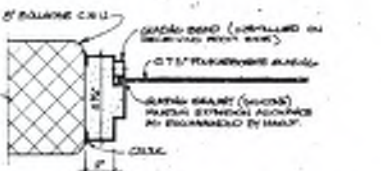
PARTITION SECTIONS
3/4" x 11'-0"



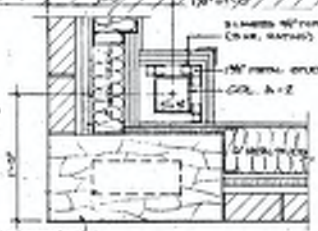
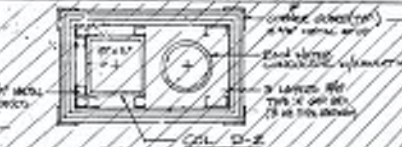
DETAIL A
3/4" x 11'-0"



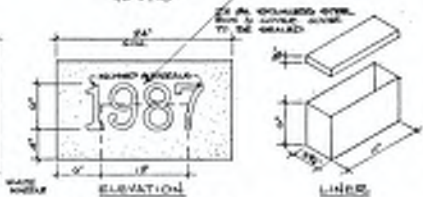
DETAIL B
3/4" x 11'-0"



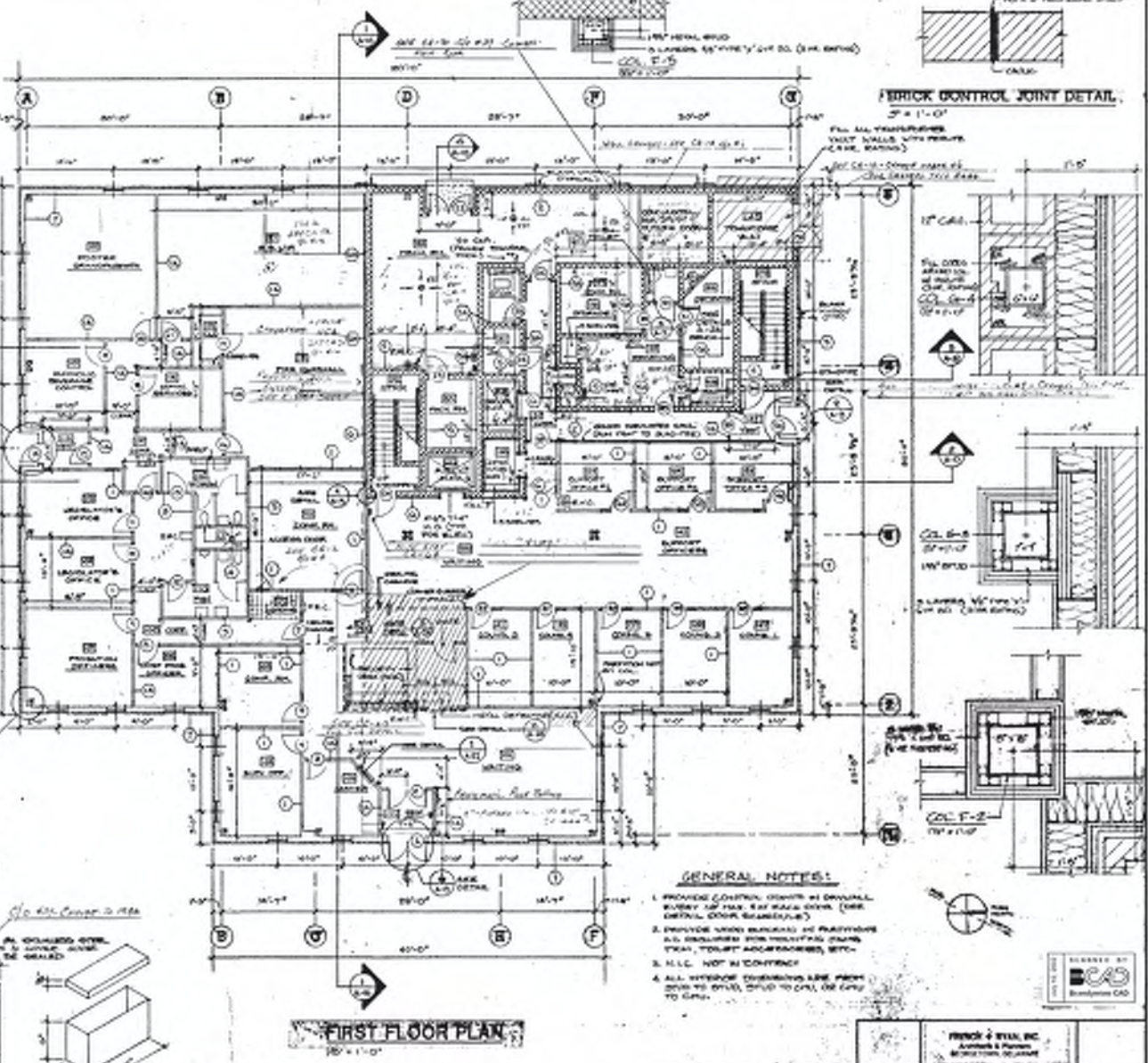
DETENTION VIEW WINDOW DETAIL
3/4" x 11'-0"



SECTION
3/4" x 11'-0"



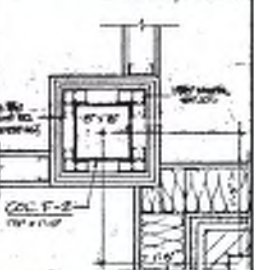
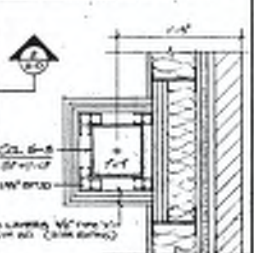
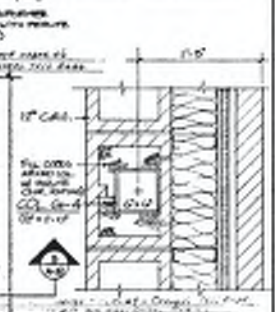
CORNER STONE DETAILS
3/4" x 11'-0"



FIRST FLOOR PLAN
3/4" x 11'-0"

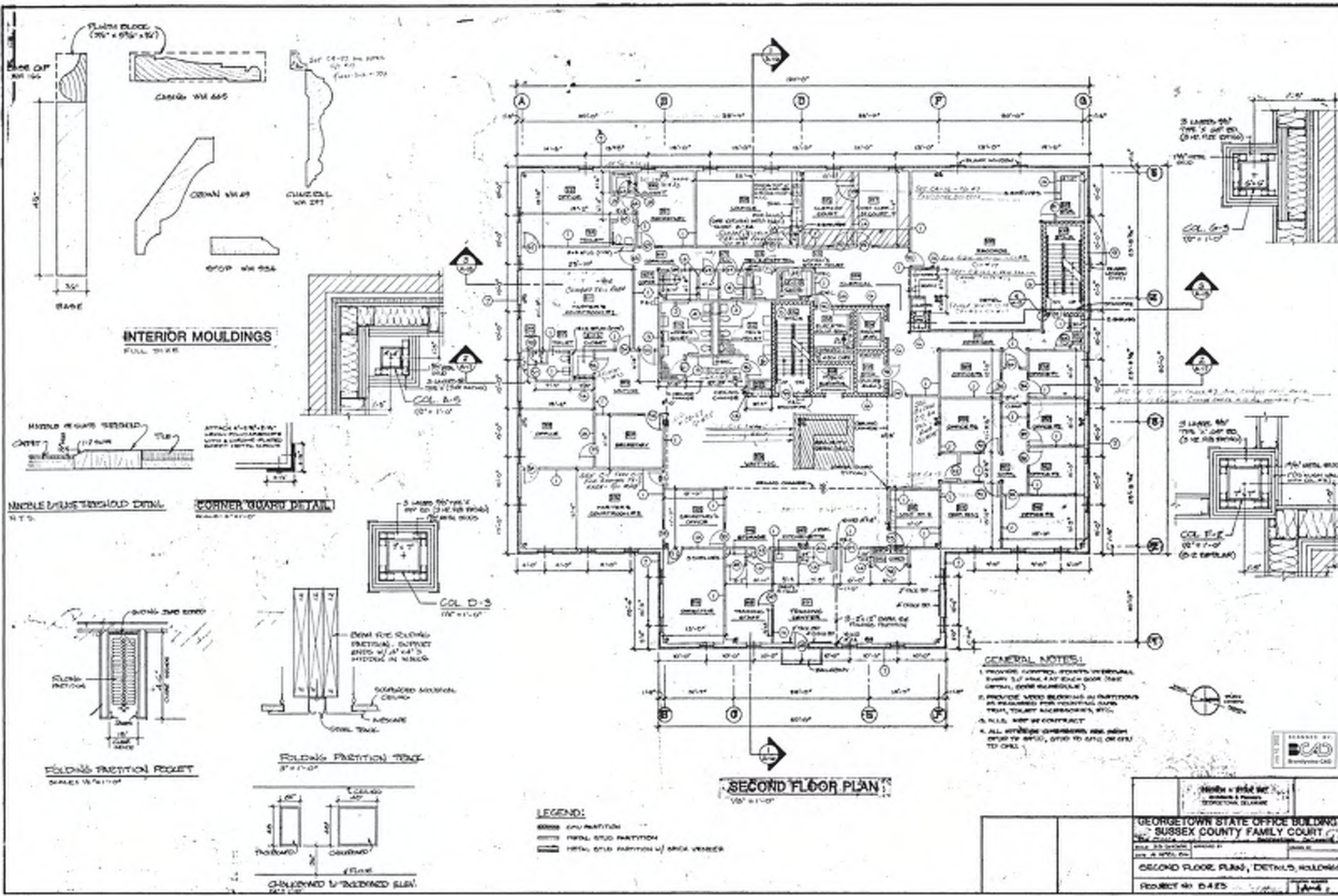
- LEGEND:**
- GYPSUM PARTITION
 - METAL STUD PARTITION
 - METAL STUD PARTITION w/ BRICK VENEER
 - SOUND INSULATED PARTITION

BRICK CONTROL JOINT DETAIL
3/4" x 11'-0"



- GENERAL NOTES:**
1. PROVIDE CONTROL JOINTS AS SHOWN. EVERY 10 FEET, BUT SHALL NEVER EXCEED 10 FEET (SEE DETAIL, CORNER BRICKWORK).
 2. PROVIDE VENEER BRICKWORK AS SHOWN. ALL DIMENSIONS FOR VENEER SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
 3. N.E.C. NOT IN CONFLICT.
 4. ALL INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH, UNLESS OTHERWISE NOTED.

PREPARED BY 	
FRICK & STELL, INC. ARCHITECTS & ENGINEERS 1000 MARKET STREET PHILADELPHIA, PA. 19107	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 1000 MARKET STREET PHILADELPHIA, PA. 19107	
FIRST FLOOR PLAN, SECTIONS, DETAILS PROJECT NO. 04273	
SHEET NO. A-3	



INTERIOR MOULDINGS
FULL VIEW

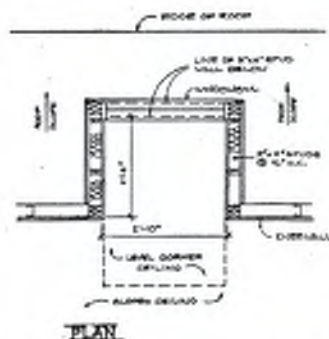
CORNER GUARD DETAIL
SCALE 1/4" = 1'-0"

SECOND FLOOR PLAN
1/8" = 1'-0"

LEGEND:
 [Symbol] GLASS PARTITION
 [Symbol] FULL GLASS PARTITION
 [Symbol] FULL GLASS PARTITION w/ BRICK VENEER

- GENERAL NOTES:**
1. PROVIDE CORNER GUARD OVERLAP EVERY 5'-0" MAX. AT EACH CORNER (SEE DETAIL, CORNER GUARD).
 2. PROVIDE LATCH MECHANISM IN PARTITIONS AS REQUIRED FOR FUNCTIONAL USE, TEST, TIGHT FIT, SMOOTH, ETC.
 3. ALL WIP BY CONTRACT.
 4. ALL WINDOW OPERATIONS ARE WITH UP TO DOWN, DOWN TO UP, OR UP TO DOWN.

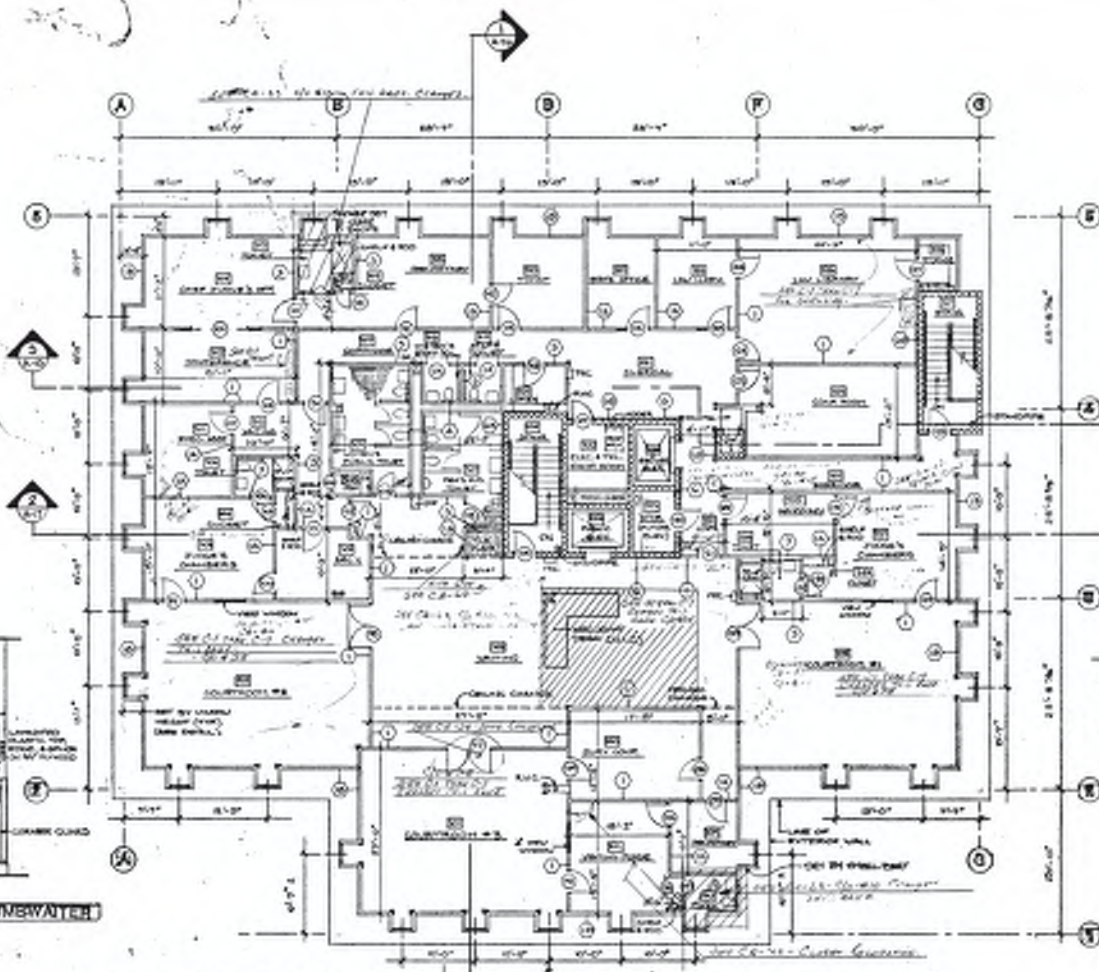
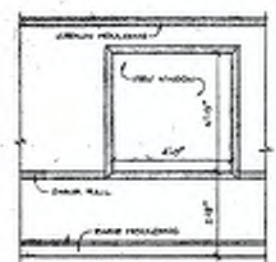
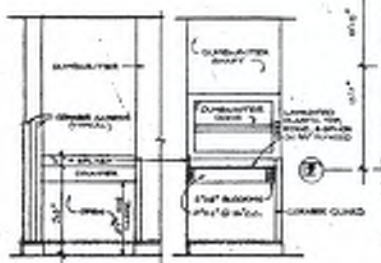
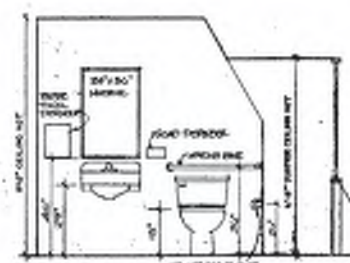
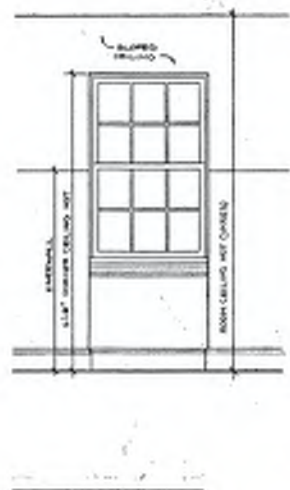
DRAWN BY [Signature] CHECKED BY [Signature]	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 1000 MARKET STREET GEORGETOWN, DELAWARE	
SECOND FLOOR PLAN, DETAILS FOLLOWING	PROJECT NO. D-425



PLAN

DORMER DETAILS

SCALE: 1/4" = 1'-0"



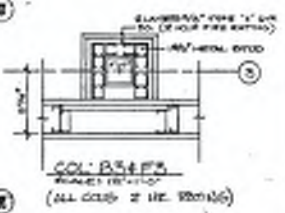
NOTE: PROVIDE SINK, TUB & CUPBATH FOR ALL SHOWERS.

LEGEND:

- ===== GYM PARTITION
- ===== METAL GRID PARTITION
- ===== METAL GRID PARTITION w/ BRICK VENEER

GENERAL NOTES:

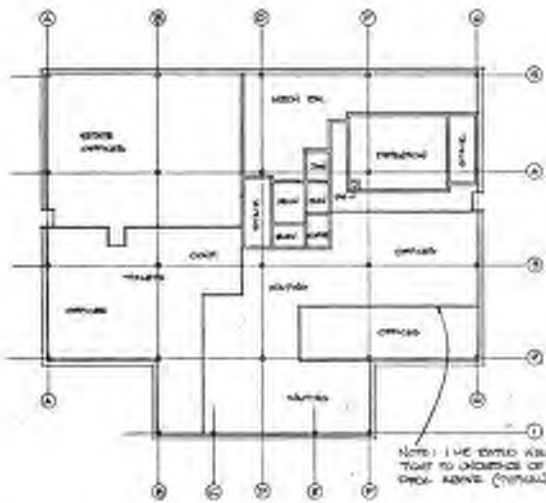
1. PROVIDE COUNTER, DRAIN, SINK OR SINK AND SLOPE 20" MAX. SLOPE EACH SIDE (SEE DETAIL DOOR SCHEDULE)
2. PROVIDE LOCK BLOCKING ON PARTITIONS AS REQUIRED FOR HOLDING DAMP TEST, TYPICAL APPROXIMATE, W/PL.
3. N.L.C. NOT IN CONTRACT
4. DUMBWAITER DIMENSIONS ARE FROM BRICK TO BRICK, BRICK TO CHU, CHU TO CHU.



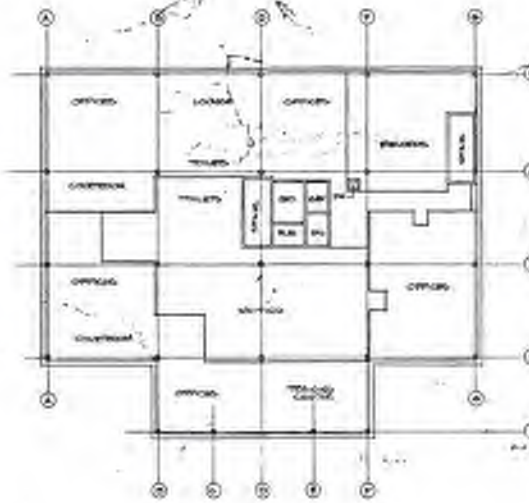
FRENCH & SYKES, INC. ARCHITECTS & PLANNERS 1000 N. MARKET STREET SUITE 200 WILMINGTON, DE 19801 TEL: 318-436-1000	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 1000 N. MARKET STREET SUITE 200 WILMINGTON, DE 19801	
THIRD FLOOR PLAN, ELEVATIONS, DETAILS	
PROJECT NO. 0425	DRAWING NO. 1A05

FIRE SEPARATION PLANS

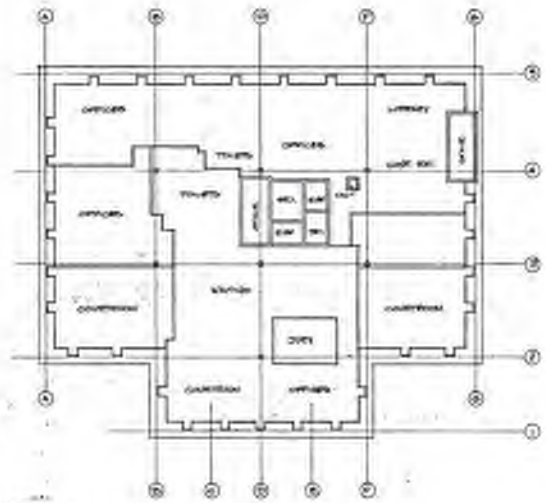
1/8" = 1'-0"



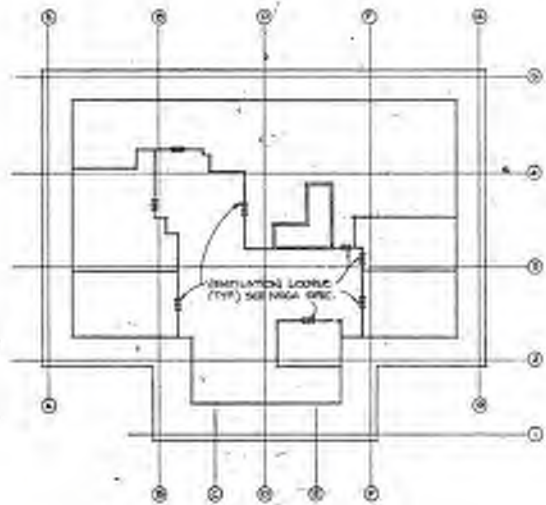
FIRST FLOOR



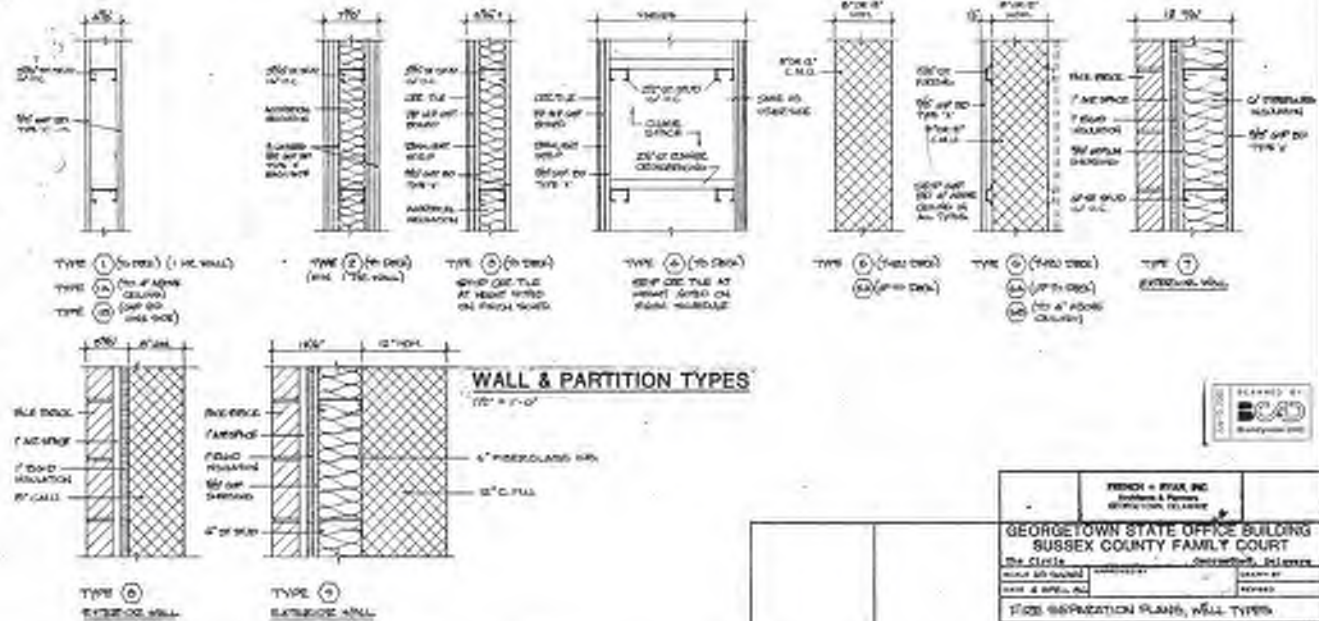
SECOND FLOOR



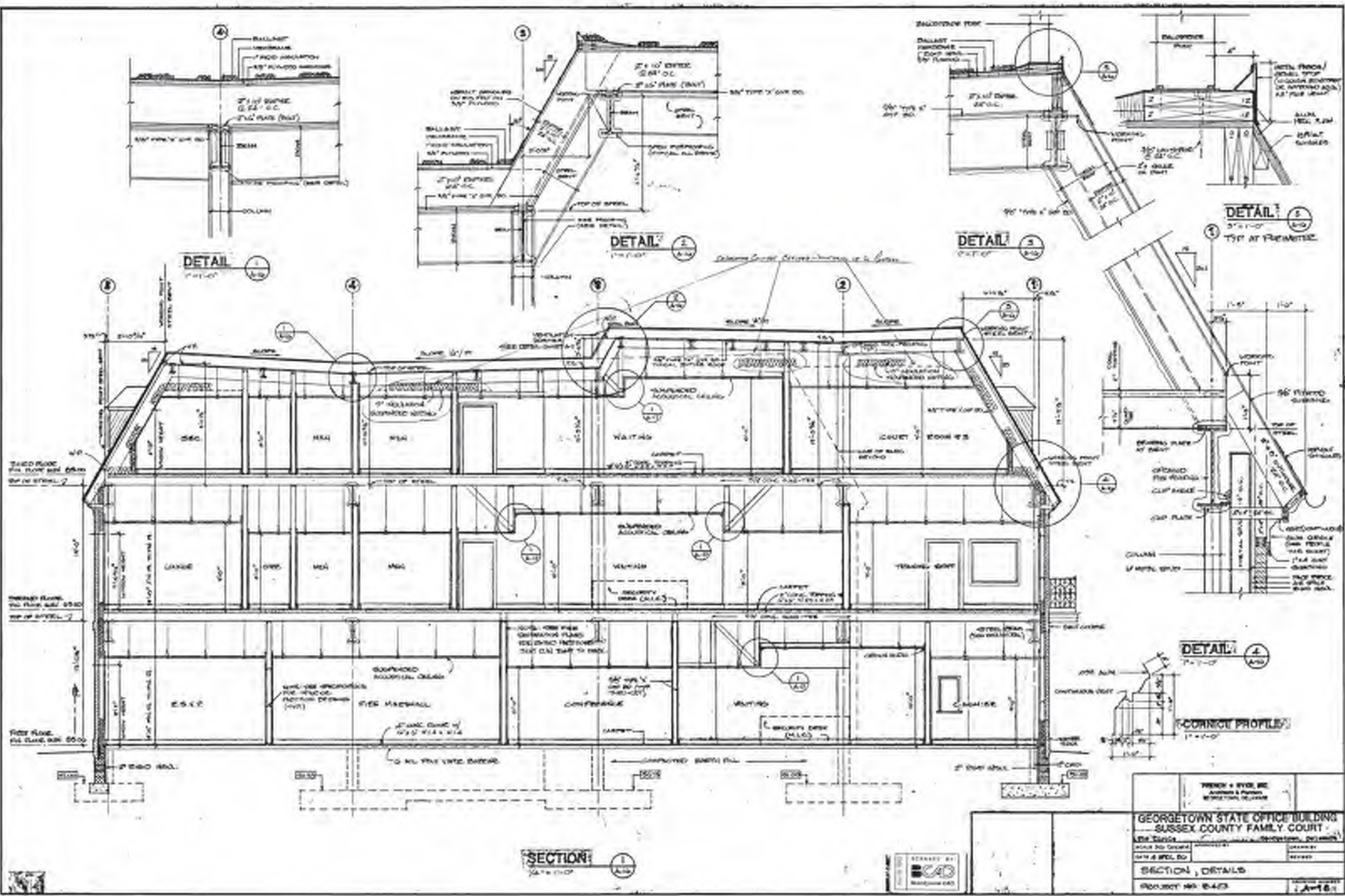
THIRD FLOOR



ATTIC SPACE



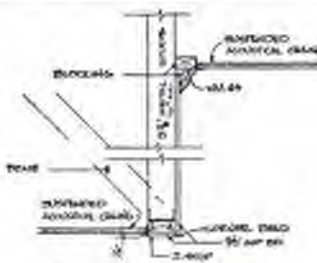
FRENCH & FRY, INC. Architects & Planners WASHINGTON, DISTRICT OF COLUMBIA	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT	
PROJECT NO. 04-25	DATE: 10/1/88
SCALE: AS SHOWN	BY: [Signature]
DATE: 10/1/88	BY: [Signature]
FIRE SEPARATION PLANS, WALL TYPES	
PROJECT NO. 04-25	A-6



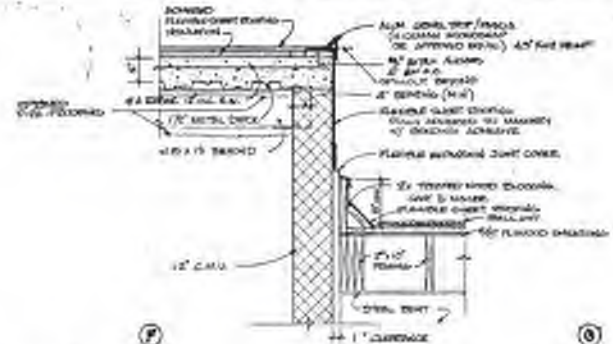
SECTION 1
1/4" = 1'-0"



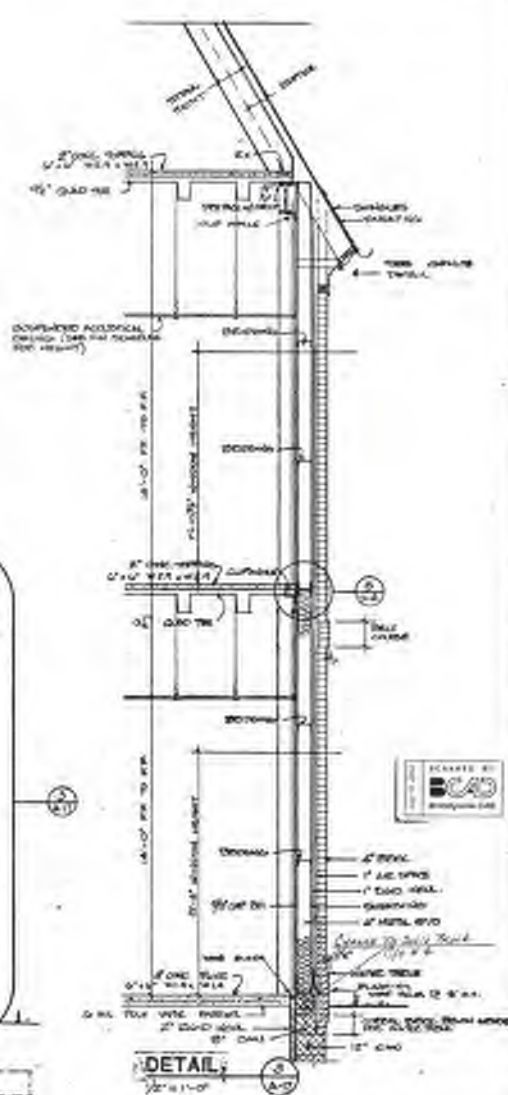
WRENCH & RYAN, INC. Architects & Planners 1000 W. 10th Street Norfolk, VA 23510	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT	
ARCHITECT: WRENCH & RYAN, INC. DATE: 10/15/10	CONTRACTOR: [Blank] DATE: [Blank]
SECTION, DETAILS	
PROJECT NO: 04-03	SHEET NO: A-16



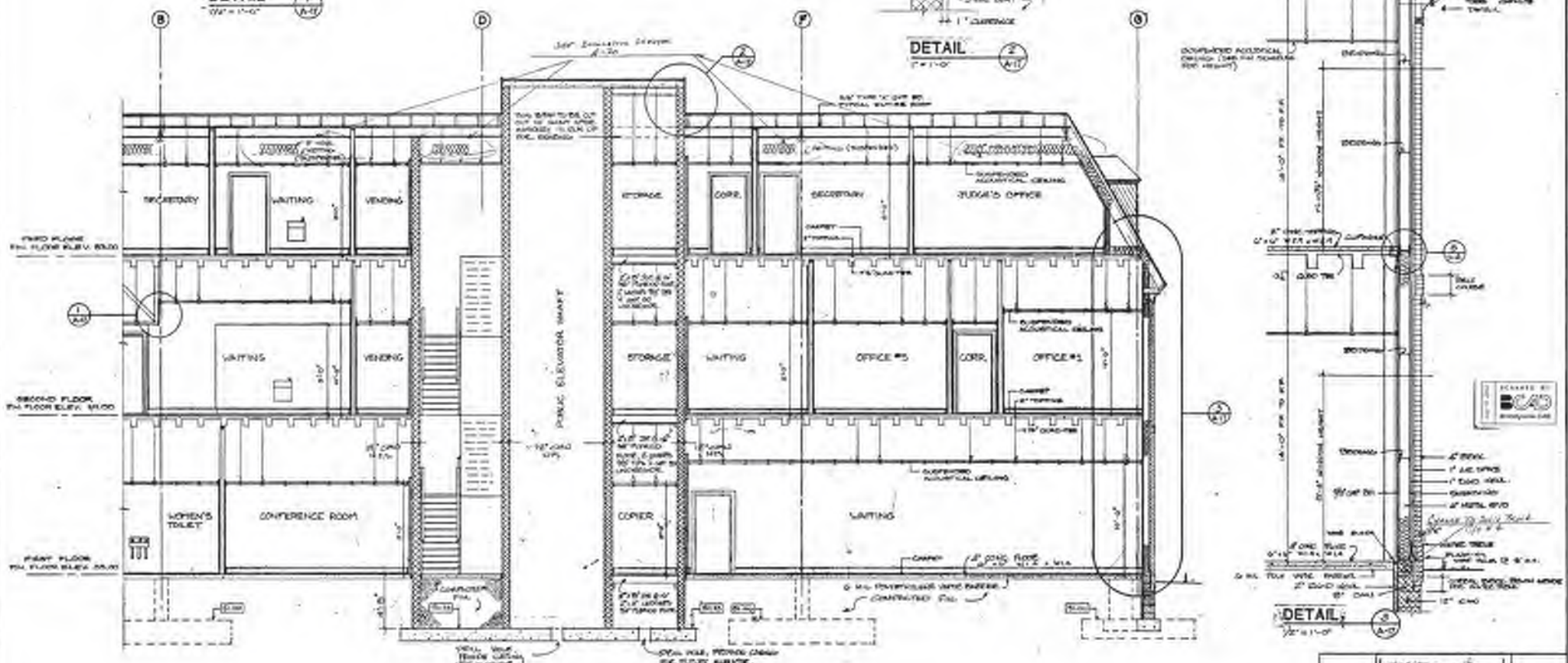
TOP ALL CEILING CHANGES
DETAIL 1
 1/2" x 1'-0"



DETAIL 2
 1/2" x 1'-0"

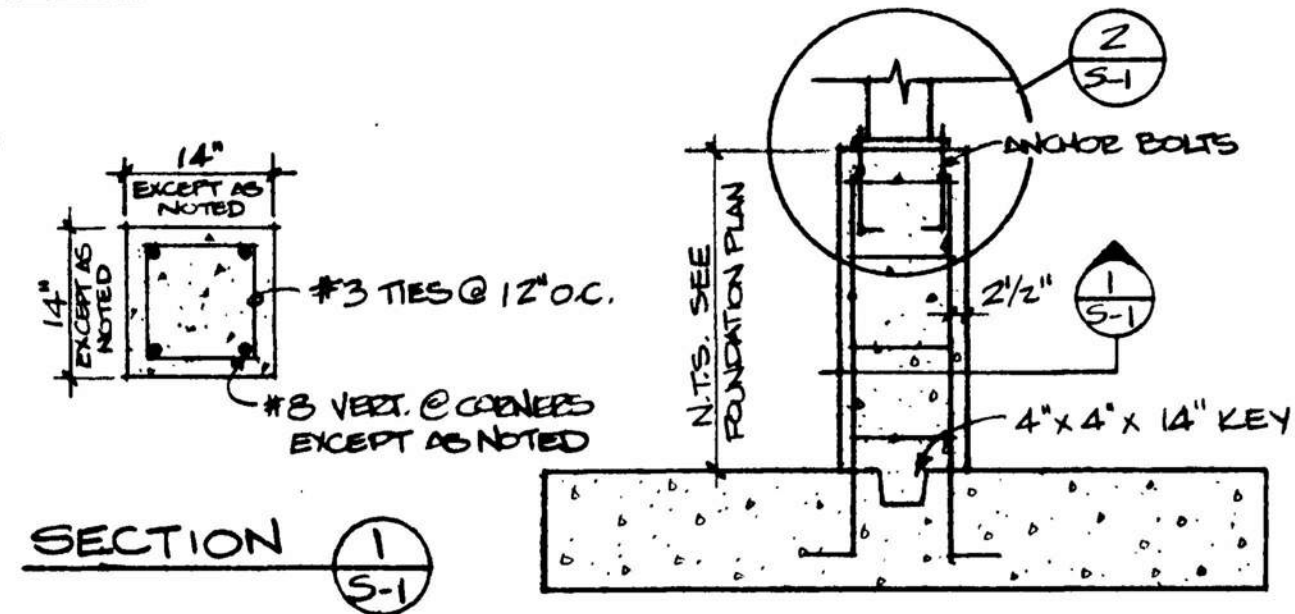
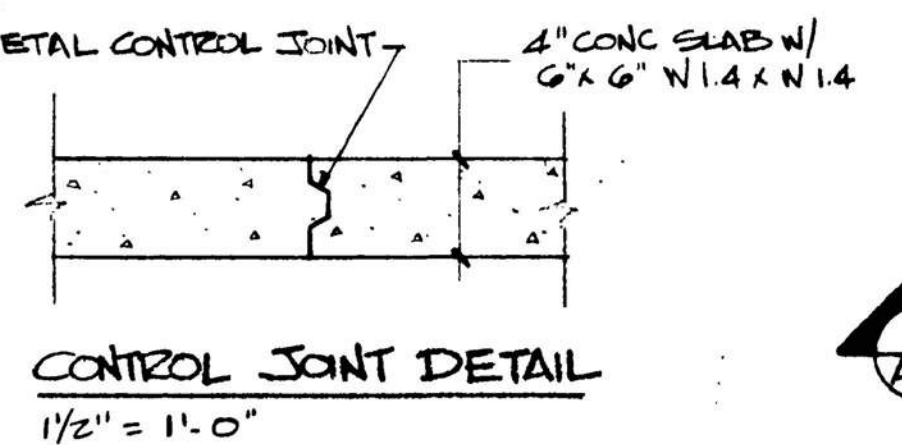
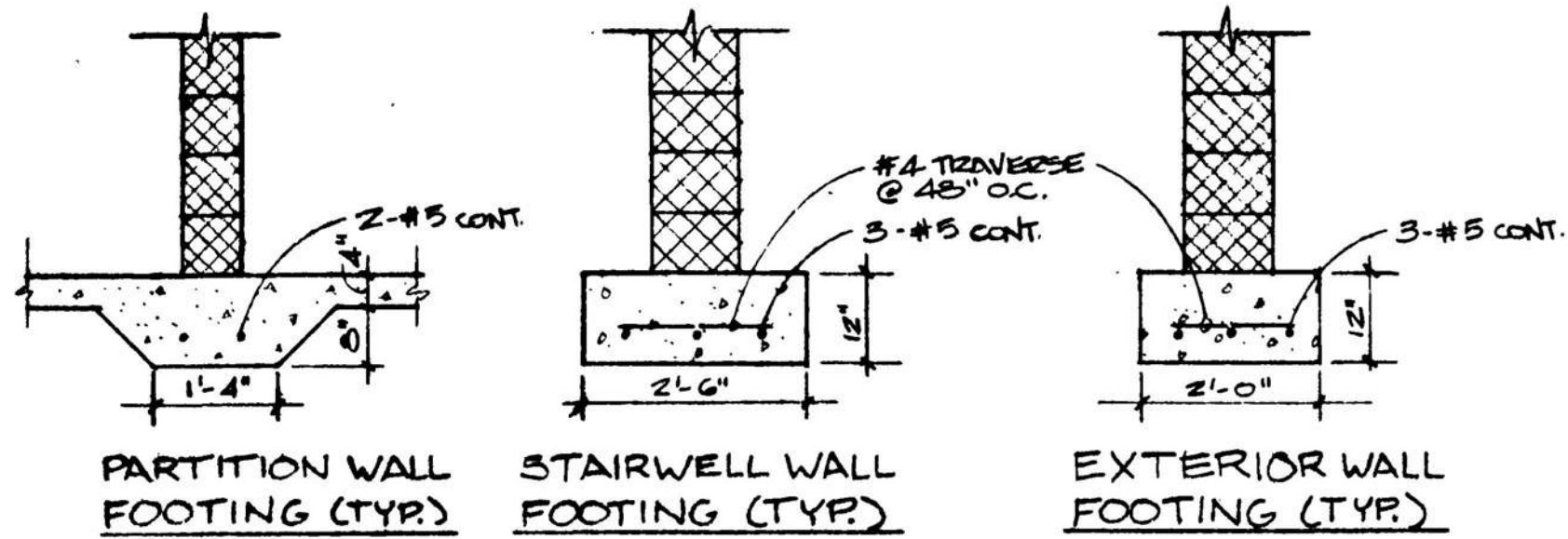


DETAIL 3
 1/2" x 1'-0"



SECTION 2
 1/2" x 1'-0"

GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT 244 NORTH			
DRAWN BY DATE 2/20/60	PROJECT NO. 6422	CHECKED BY DATE	REVISIONS NO. 1 DATE
SECTION, DETAILS			DRAWING NO. A-17

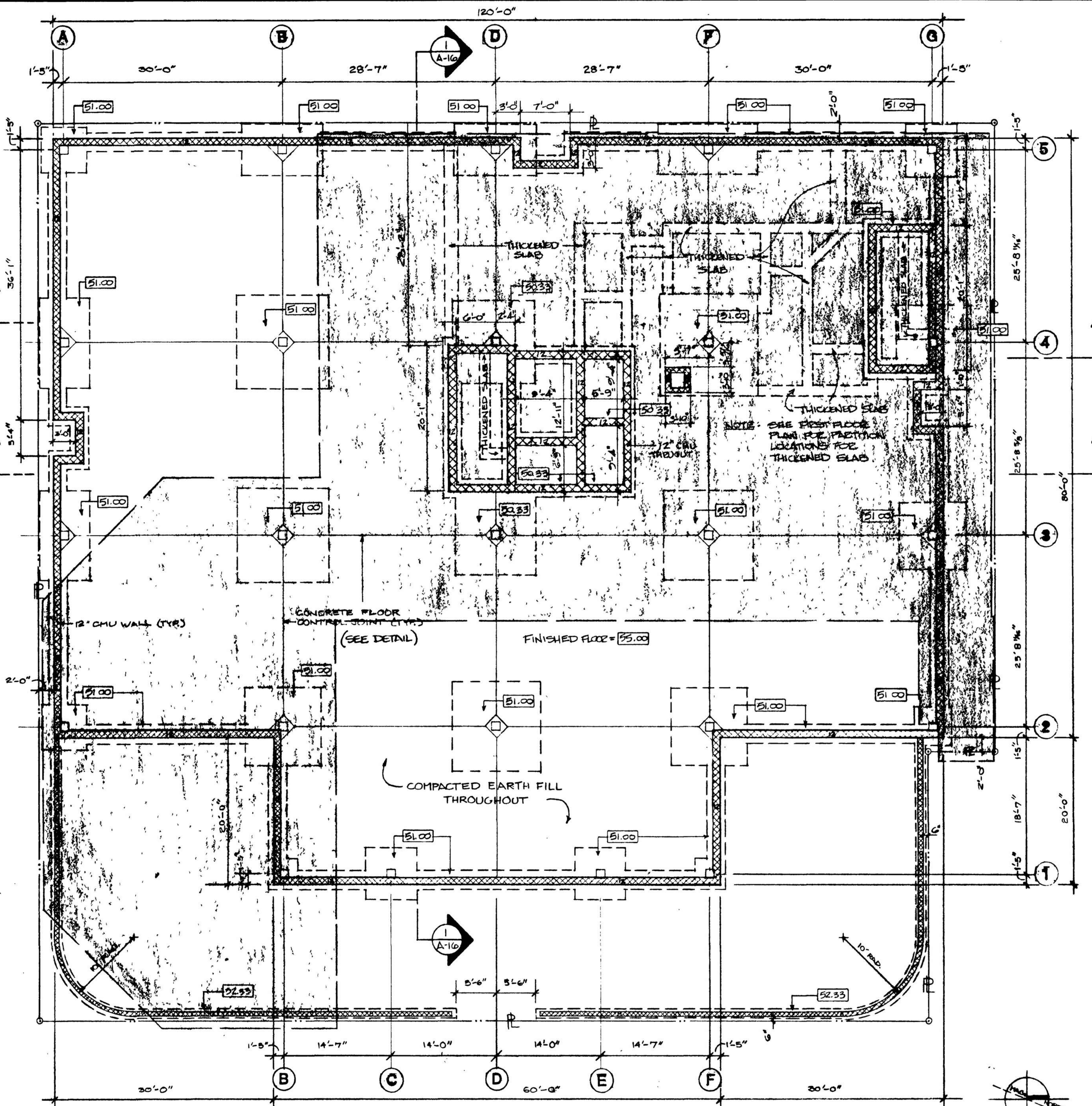


TYPICAL PIER DETAILS
 N.T.S.

COLUMN AND FOOTING SCHEDULE																
	A/5	A2/5	B/5	D/5	F/5	F8/5	G/5	A/4	B/4	D/4	F/4	G/4	A/3	B/3	D/3	F/3
TOP PLATE		1/4"		CAP		PLATE		SEE		DETAIL		SHEET		A-5		
3RD FL./ROOF COLUMN																
BOTTOM PLATE		9x7 1/2"	11x7 1/2"	11x7 1/2"	11x7 1/2"	9x7 1/2"		9x4 1/2"	14x9 1/2"	13x9 1/2"	12x9 1/2"	8x4 1/2"	9x4 1/2"	14x9 1/2"	13x9 1/2"	14x9 1/2"
TOP PLATE	7x6 1/2"	11x7 1/2"	11x7 1/2"	11x7 1/2"	11x7 1/2"	7x6 1/2"	7x6 1/2"	7x6 1/2"	14x9 1/2"	13x9 1/2"	12x9 1/2"	8x4 1/2"	9x4 1/2"	14x9 1/2"	13x9 1/2"	14x9 1/2"
2ND/3RD FL. COLUMN	4x4 1/2"	5x5 1/2"	5x5 1/2"	5x5 1/2"	5x5 1/2"	4x4 1/2"	4x4 1/2"	4x4 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"	5x5 1/2"	5x5 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"
BOTTOM PLATE	8x4 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"
TOP PLATE	8x4 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	12x7 1/2"	8x4 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"	8x4 1/2"	8x4 1/2"	16x10 1/2"	16x10 1/2"	16x10 1/2"
1ST/2ND FL. COLUMN	5x5 1/2"	6x6 1/2"	6x6 1/2"	6x6 1/2"	6x6 1/2"	5x5 1/2"	5x5 1/2"	5x5 1/2"	10x10 1/2"	10x10 1/2"	10x10 1/2"	6x6 1/2"	6x6 1/2"	10x10 1/2"	10x10 1/2"	10x10 1/2"
BOTTOM PLATE	11x11 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"	11x11 1/2"	11x11 1/2"	11x11 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"	11x11 1/2"	11x11 1/2"	16x12 1/2"	16x12 1/2"	16x12 1/2"
PIER #	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"	16x16"	16x16"	16x16"	14x14"	14x14"	16x16"	16x16"	16x16"
REINFORCING	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8	4-#9	4-#9	4-#9	4-#8	4-#8	4-#9	4-#8	4-#9
FOOTING #	6'-0" x 6'-0"	7'-0" x 6'-0"	7'-0" x 6'-0"	7'-0" x 6'-0"	7'-0" x 6'-0"	6'-0" x 6'-0"	7'-0" x 6'-0"	7'-0" x 6'-0"	12'-0" x 6'-0"	12'-0" x 6'-0"	12'-0" x 6'-0"	6'-0" x 6'-0"	6'-0" x 6'-0"	12'-0" x 6'-0"	12'-0" x 6'-0"	12'-0" x 6'-0"
REINFORCING	7-#8 E.W.	8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	7-#8 E.W.	8-#8 E.W.	8-#8 E.W.	12-#8 E.W.	12-#8 E.W.	12-#8 E.W.	7-#8 E.W.	7-#8 E.W.	12-#8 E.W.	12-#8 E.W.	12-#8 E.W.

	G/5	A/2	A2/2	B/2	D/2	F/2	F8/2	G/2	B/1A	F/1A	B/1	C/1	C8/1	D2/1	E/1	F/1
TOP PLATE																
3RD FL./ROOF COLUMN																
BOTTOM PLATE		9x7 1/2"	13x7 1/2"	14x9 1/2"	13x7 1/2"	9x7 1/2"		9x6 1/2"	9x6 1/2"				9x9 1/2"	9x9 1/2"		
TOP PLATE	8x4 1/2"	7x6 1/2"	13x9 1/2"	14x9 1/2"	13x7 1/2"	7x6 1/2"		7x6 1/2"	7x6 1/2"	11x9 1/2"			11x9 1/2"	7x6 1/2"	7x6 1/2"	
2ND/3RD FL. COLUMN	6x6 1/2"	4x4 1/2"	7x6 1/2"	8x8 1/2"	7x6 1/2"	4x4 1/2"		4x4 1/2"	4x4 1/2"	5x5 1/2"			5x5 1/2"	4x4 1/2"	4x4 1/2"	
BOTTOM PLATE	10x10 1/2"	14x9 1/2"	14x9 1/2"	14x9 1/2"	14x9 1/2"	10x10 1/2"		10x10 1/2"	10x10 1/2"	12x12 1/2"			12x12 1/2"	10x10 1/2"	10x10 1/2"	
TOP PLATE	10x10 1/2"	8x4 1/2"	14x9 1/2"	14x9 1/2"	14x9 1/2"	8x4 1/2"		8x4 1/2"	8x4 1/2"	12x12 1/2"			12x12 1/2"	8x4 1/2"	8x4 1/2"	
1ST/2ND FL. COLUMN	7x6 1/2"	5x5 1/2"	8x8 1/2"	8x8 1/2"	8x8 1/2"	5x5 1/2"		5x5 1/2"	5x5 1/2"	6x6 1/2"			6x6 1/2"	4x4 1/2"	4x4 1/2"	
BOTTOM PLATE	15x15 1/2"	11x11 1/2"	14x14 1/2"	14x14 1/2"	14x14 1/2"	11x11 1/2"		11x11 1/2"	11x11 1/2"	10x10 1/2"			10x10 1/2"	10x10 1/2"	10x10 1/2"	
PIER #	14x14"	14x14"	14x14"	14x14"	14x14"	14x14"		14x14"	14x14"	14x14"			14x14"	14x14"	14x14"	
REINFORCING	4-#8	4-#8	4-#8	4-#8	4-#8	4-#8		4-#8	4-#8	4-#8			4-#8	4-#8	4-#8	
FOOTING #	6'-0" x 6'-0"	6'-0" x 6'-0"	8'-0" x 6'-0"	8'-0" x 6'-0"	8'-0" x 6'-0"	6'-0" x 6'-0"		6'-0" x 6'-0"	6'-0" x 6'-0"	7'-0" x 6'-0"			7'-0" x 6'-0"	6'-0" x 6'-0"	6'-0" x 6'-0"	
REINFORCING	7-#8 E.W.	7-#8 E.W.	8-#8 E.W.	8-#8 E.W.	8-#8 E.W.	7-#8 E.W.		7-#8 E.W.	7-#8 E.W.	8-#8 E.W.			8-#8 E.W.	7-#8 E.W.	7-#8 E.W.	

NOTES: 1. ALL CONC. PIERS SHALL HAVE #3 TIES @ 12" O.C.
 2. NET SOIL PRESSURE = 2000 PSF
 3. FROM ALL FOOTING BASE PLATES 1/2-3/4" DIA A 325 ANCHOR BOLTS 12" MIN EMBEDMENT W/ 3" HOOK ON END



LEGEND:
 [Symbol] NEW CHU FOUNDATION
 [Symbol] EXISTING BLDG. TO BE DEMOLISHED

NOTE: FOOTING ELEVATIONS ARE TO TOP OF FOOTING



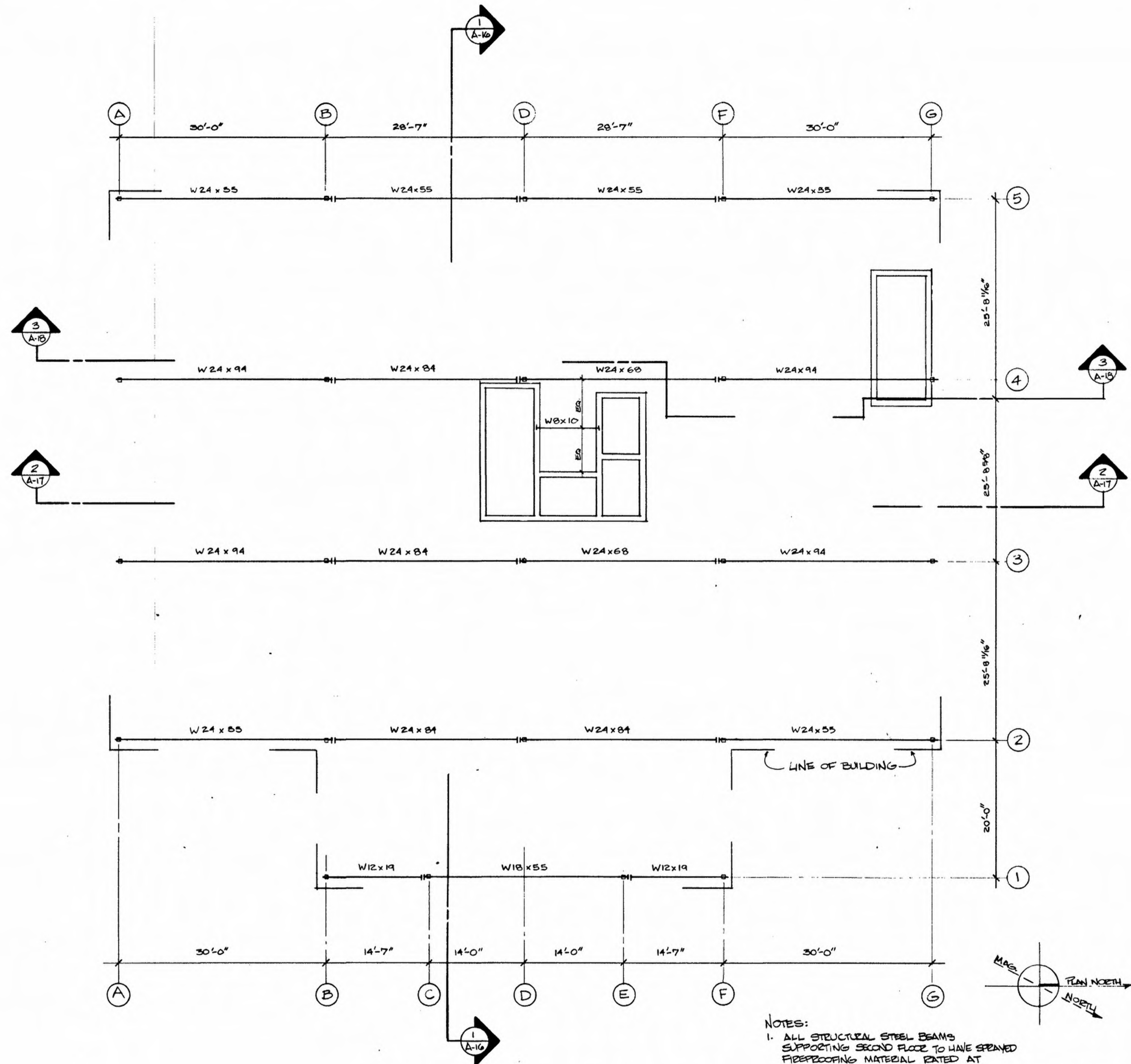
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GEORGETOWN STATE OFFICE BUILDING
SUSSEX COUNTY FAMILY COURT

The Circle Georgetown, Delaware
 SCALE AS SHOWN APPROVED BY
 DATE 4 APRIL 06 DRAWN BY
 REVISED

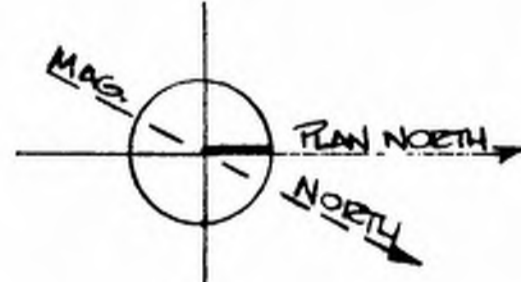
FOUNDATION PLAN, DETAILS

PROJECT NO. B423 DRAWING NUMBER
8-1



SECOND FLOOR STEEL FRAMING PLAN
 1/8" = 1'-0"

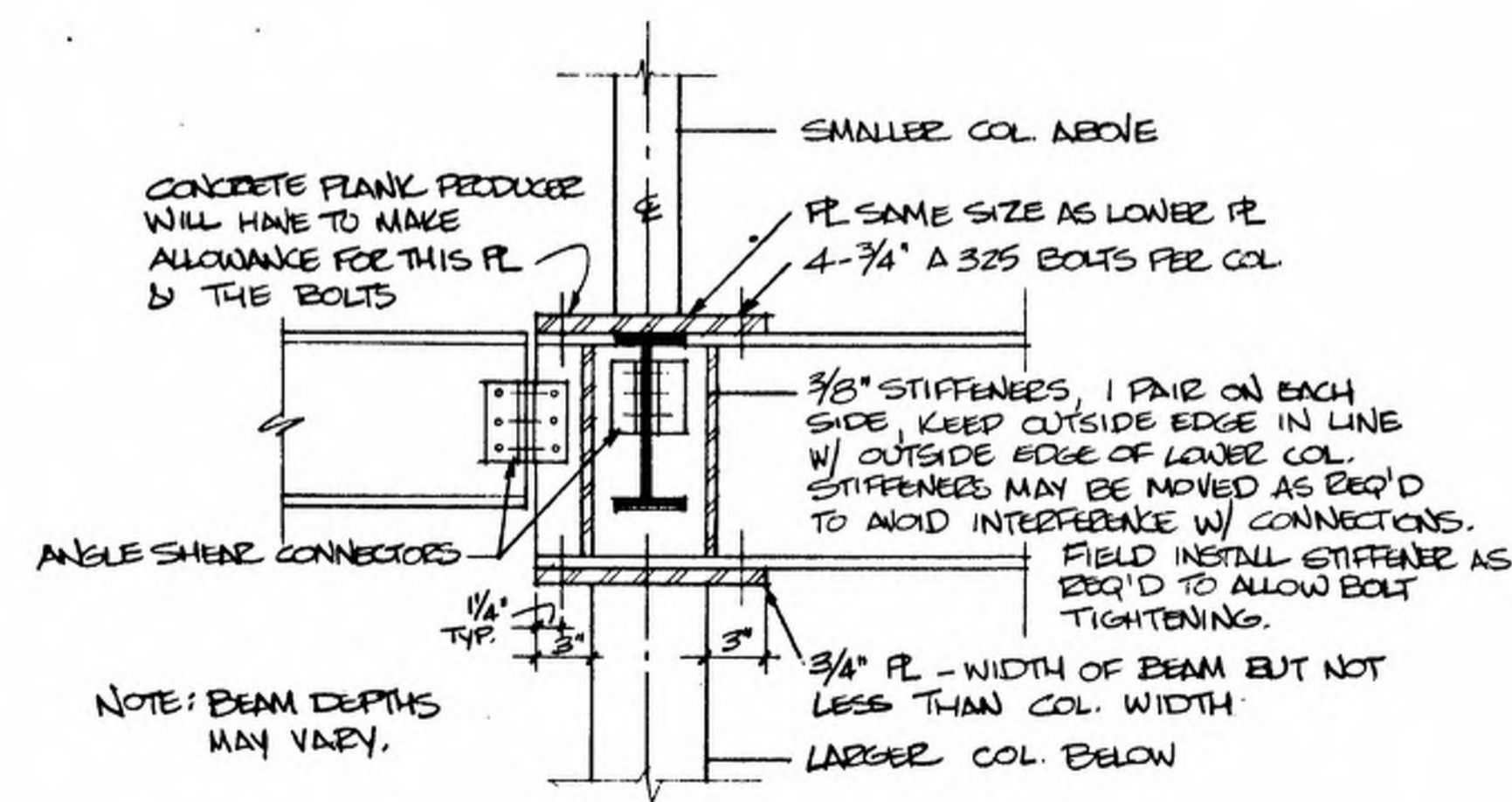
- NOTES:
 1. ALL STRUCTURAL STEEL BEAMS SUPPORTING SECOND FLOOR TO HAVE SPRAED FIREPROOFING MATERIAL RATED AT 2 HR. U.L. DESIGN NECOS.
 2. TOP OF STEEL ELEVATION = 68.04' (UNLESS NOTED OTHERWISE)



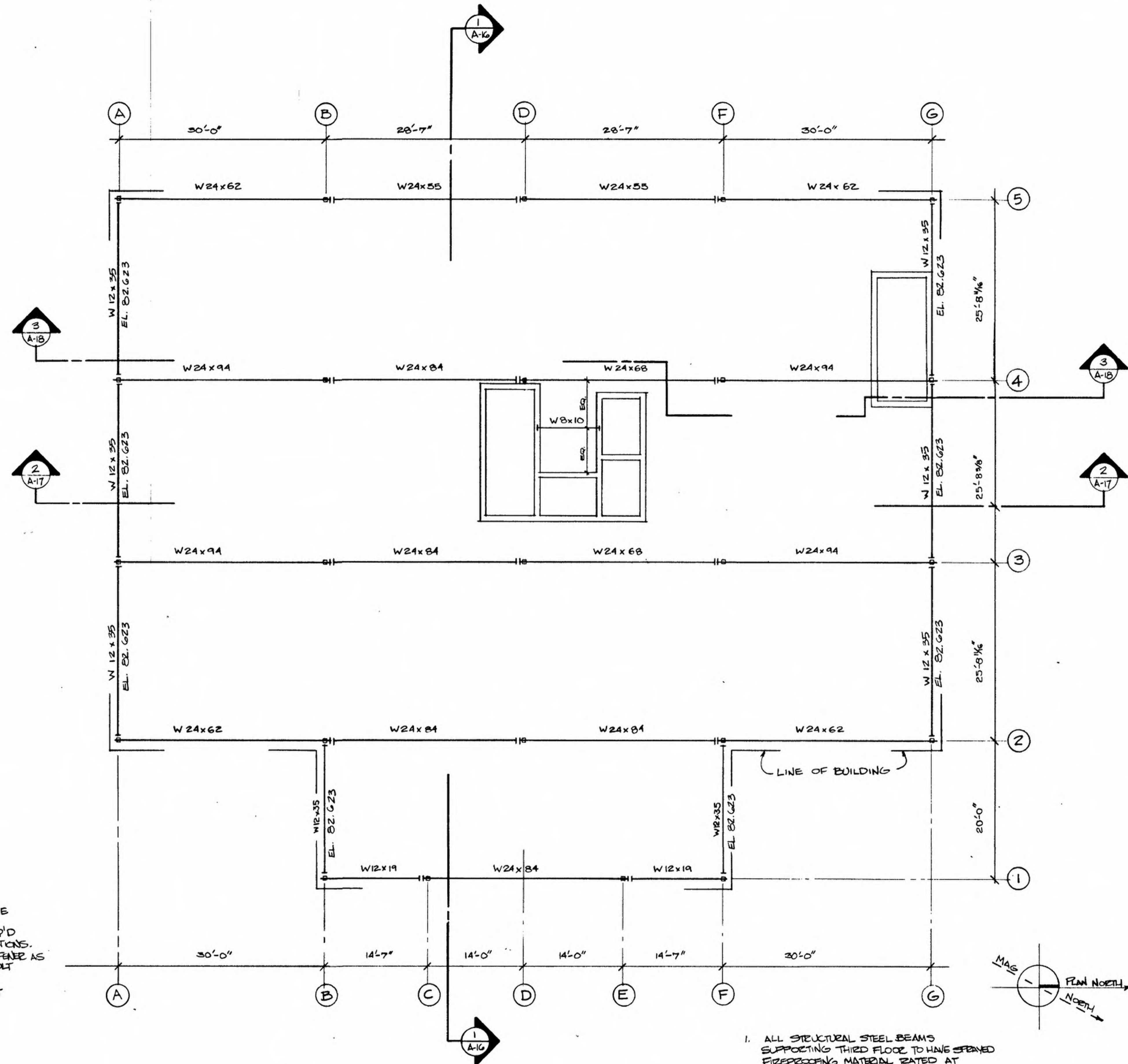
FRENCH + RYAN, INC. Architects & Planners GEORGETOWN, DELAWARE	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT The Circle Georgetown, Delaware	
SCALE AS SHOWN DATE 4-APRIL 06	APPROVED BY REVISIONS
SECOND FLOOR STEEL FRAMING PLAN	
PROJECT NO. B423	DRAWING NUMBER S-2



DATE PLOTTED: 7/10/2002 10:50 AM
 PLOTTER: HP DesignJet 500C
 PLOT FILE: C:\Users\Public\Documents\B423\2002\7/10/2002 10:50 AM\B423_S-2.dwg
 PLOT SCALE: 1/8" = 1'-0"
 PLOT AREA: 11.00 x 17.00
 PLOT STATUS: SUCCESS

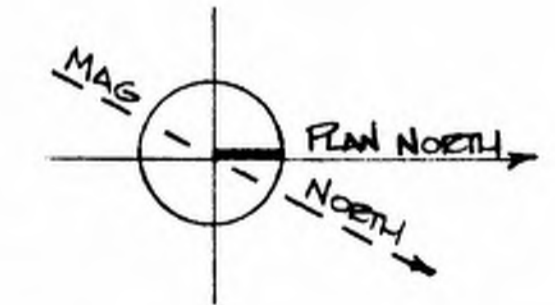


TYPICAL COLUMN SPLICE
N.T.S.



THIRD FLOOR STEEL FRAMING PLAN
1/8" = 1'-0"

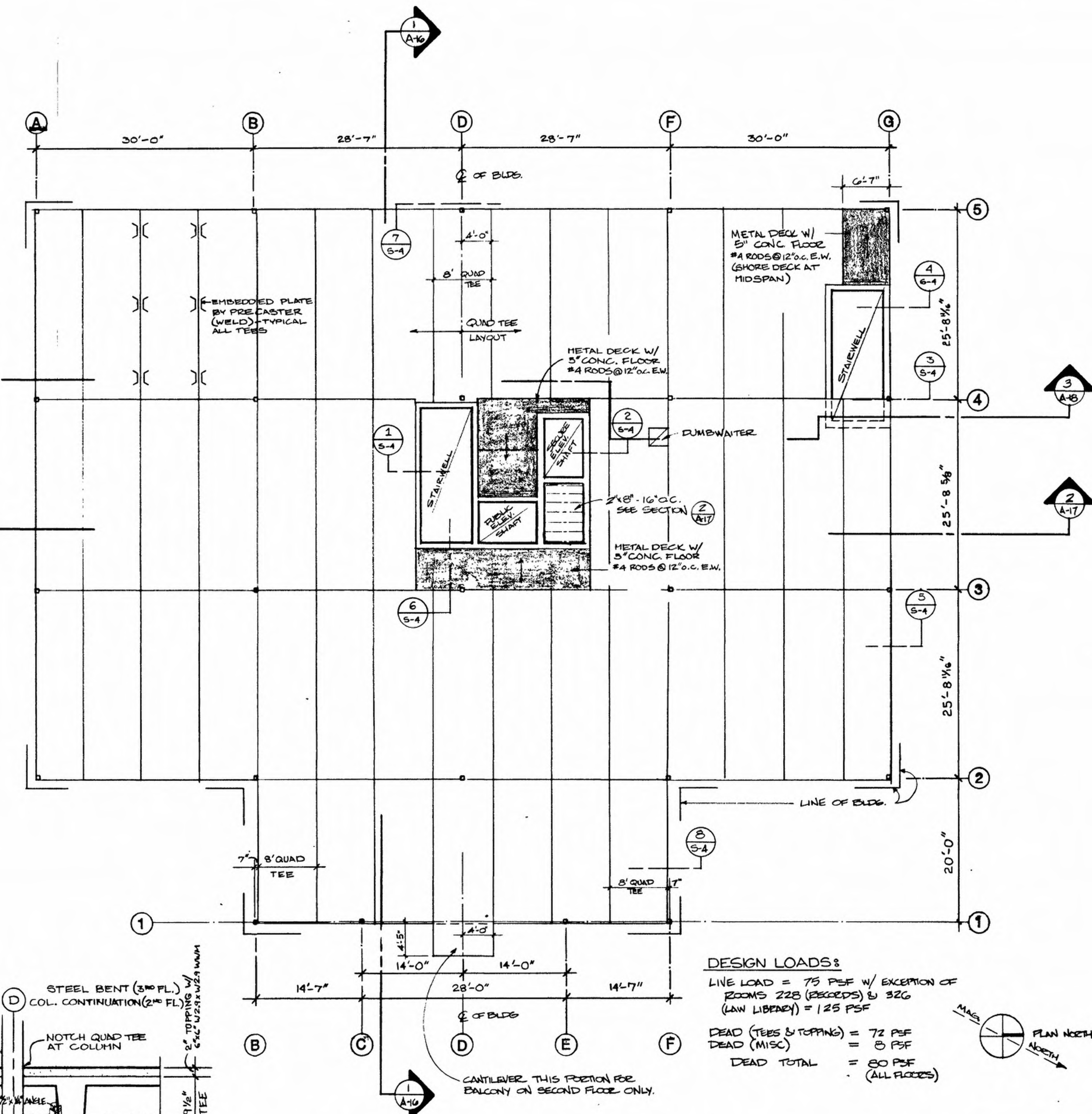
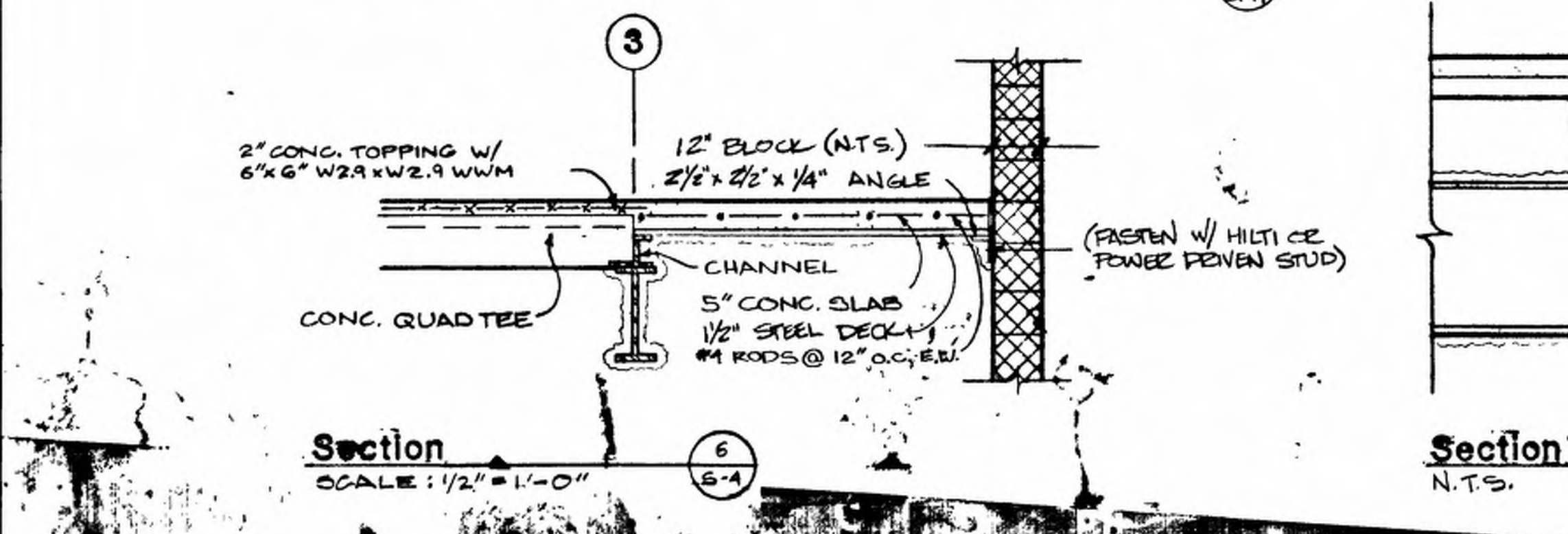
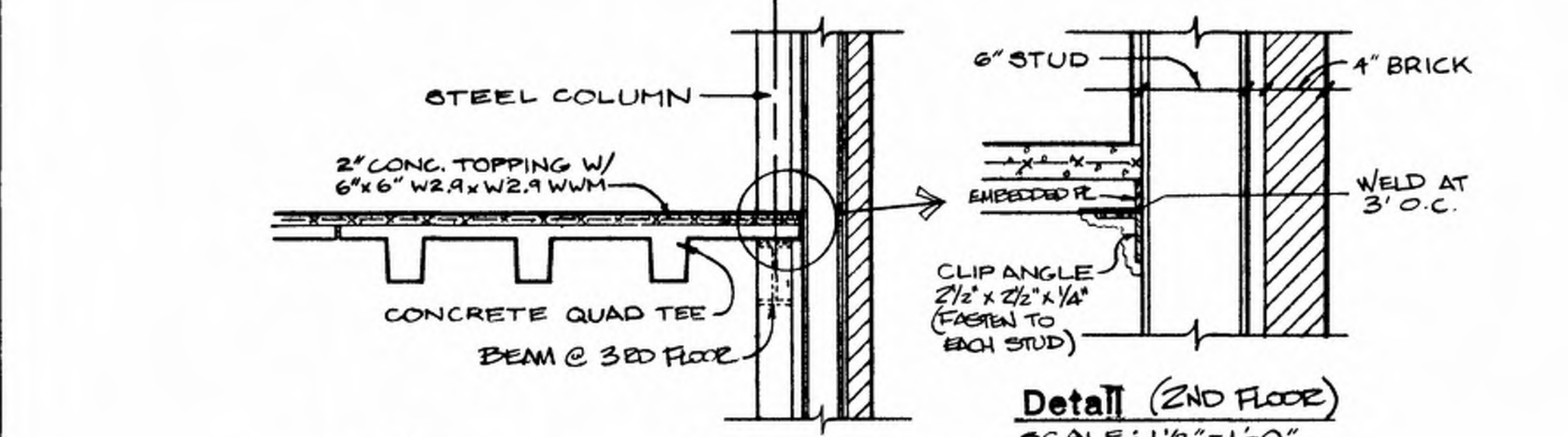
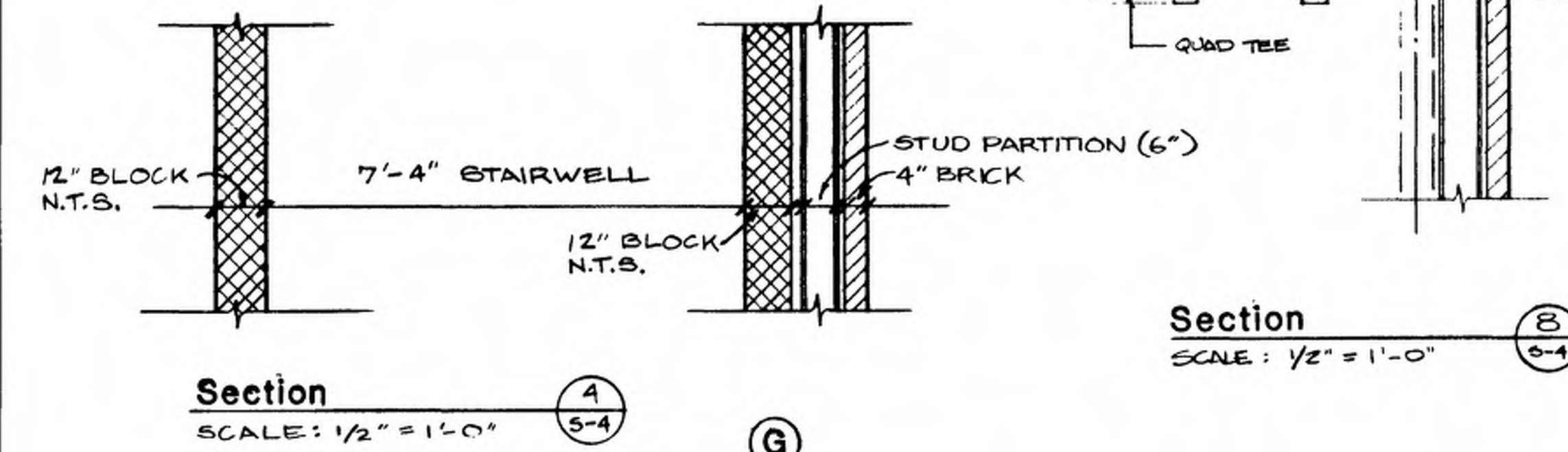
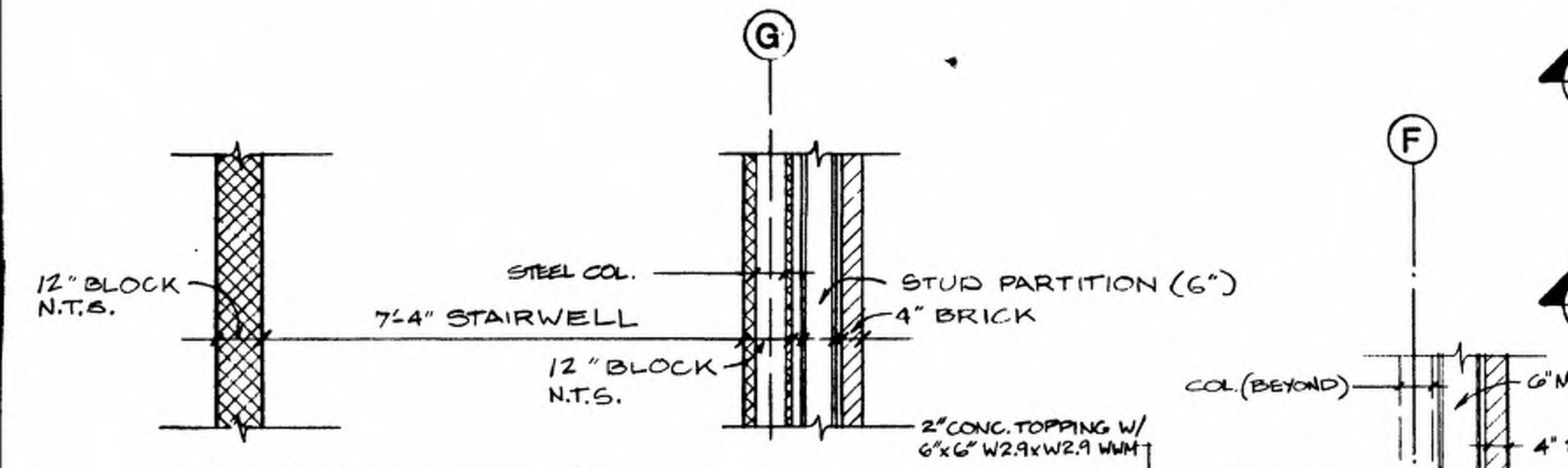
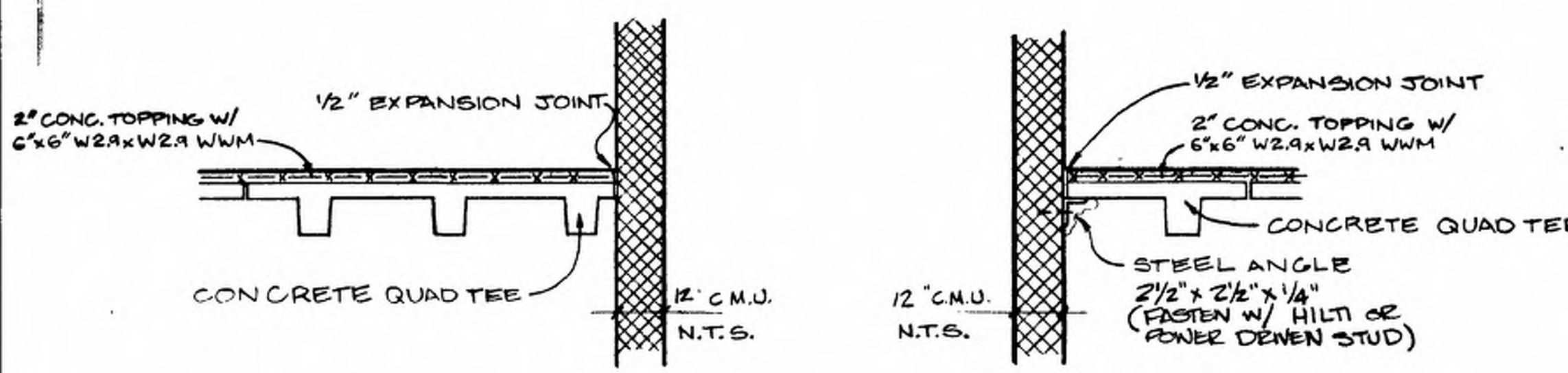
1. ALL STRUCTURAL STEEL BEAMS SUPPORTING THIRD FLOOR TO HAVE OPENED FIREPROOFING MATERIAL RATED AT 2 HR. U.L. DESIGN NBOS.
2. TOP OF STEEL ELEVATION = 82.04' (UNLESS NOTED OTHERWISE)



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DATE 4 APRIL 06	REVIS
THIRD FLOOR STEEL FRAMING PLAN	
PROJECT NO. B423	DRAWING NUMBER S-3



DATE PLOTTED: 07/10/2002 10:58:00 AM



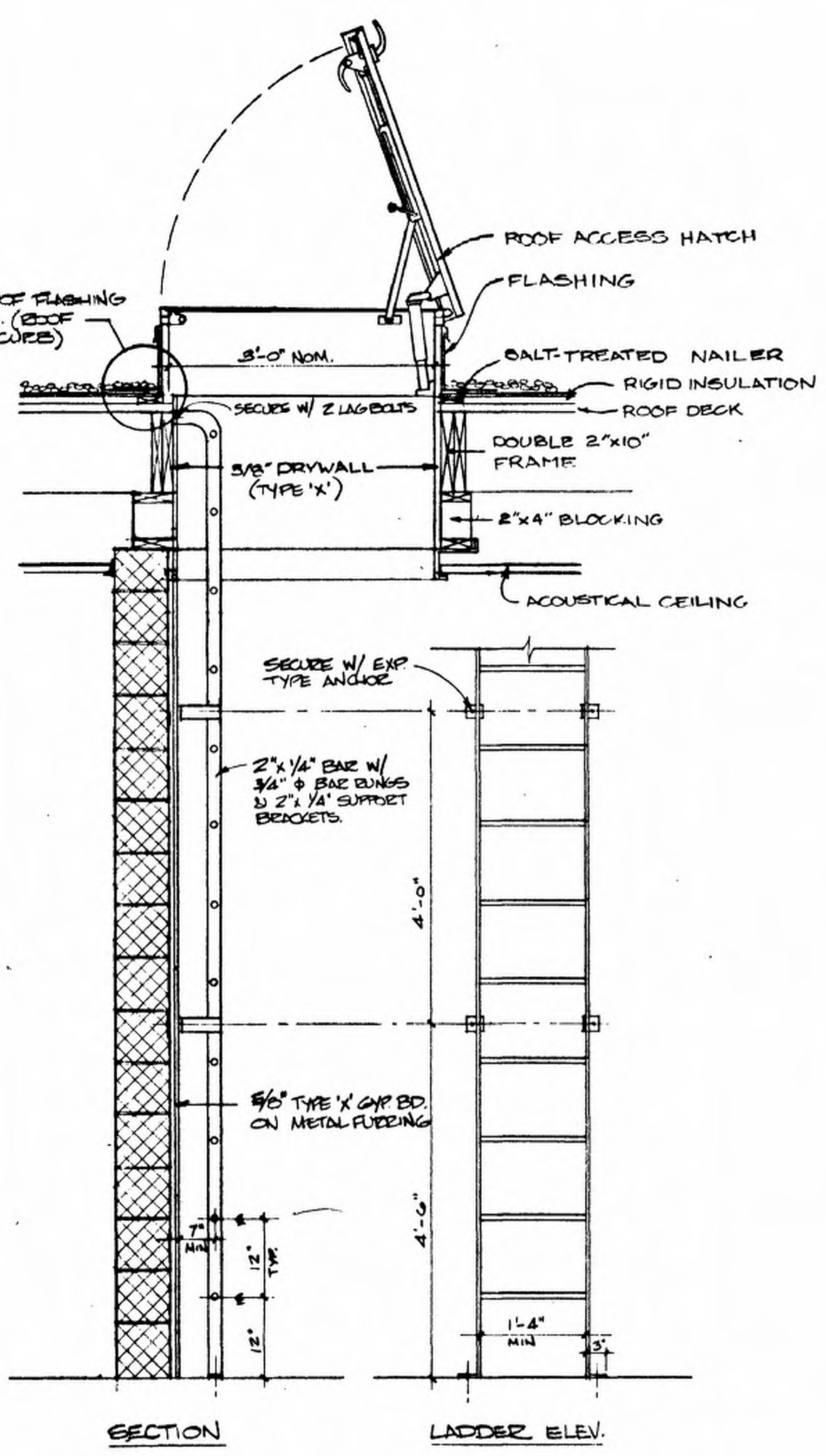
SECOND & THIRD FLOOR PLANK PLAN
 SCALE: 1/8" = 1'-0"



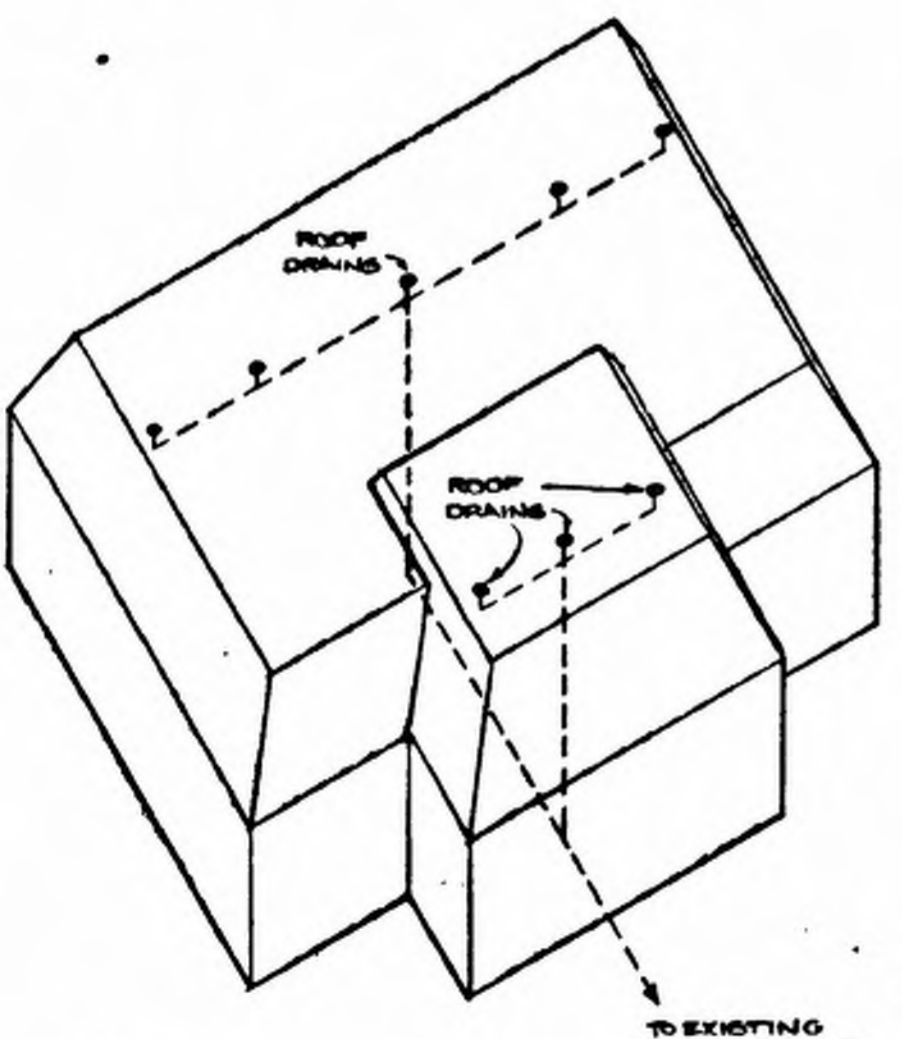
FRENCH + RYAN, INC. Architects & Planners Georgetown, Delaware	
GEORGETOWN STATE OFFICE BUILDING SUSSEX COUNTY FAMILY COURT	
The Circle	Georgetown, Delaware
SCALE AS SHOWN	APPROVED BY
DATE 4 APRIL 86	DRAWN BY
	REVISED
SECOND & THIRD FLOOR PLANK PLAN, DETAILS	
PROJECT No. B423	DRAWING NUMBER
	9-4



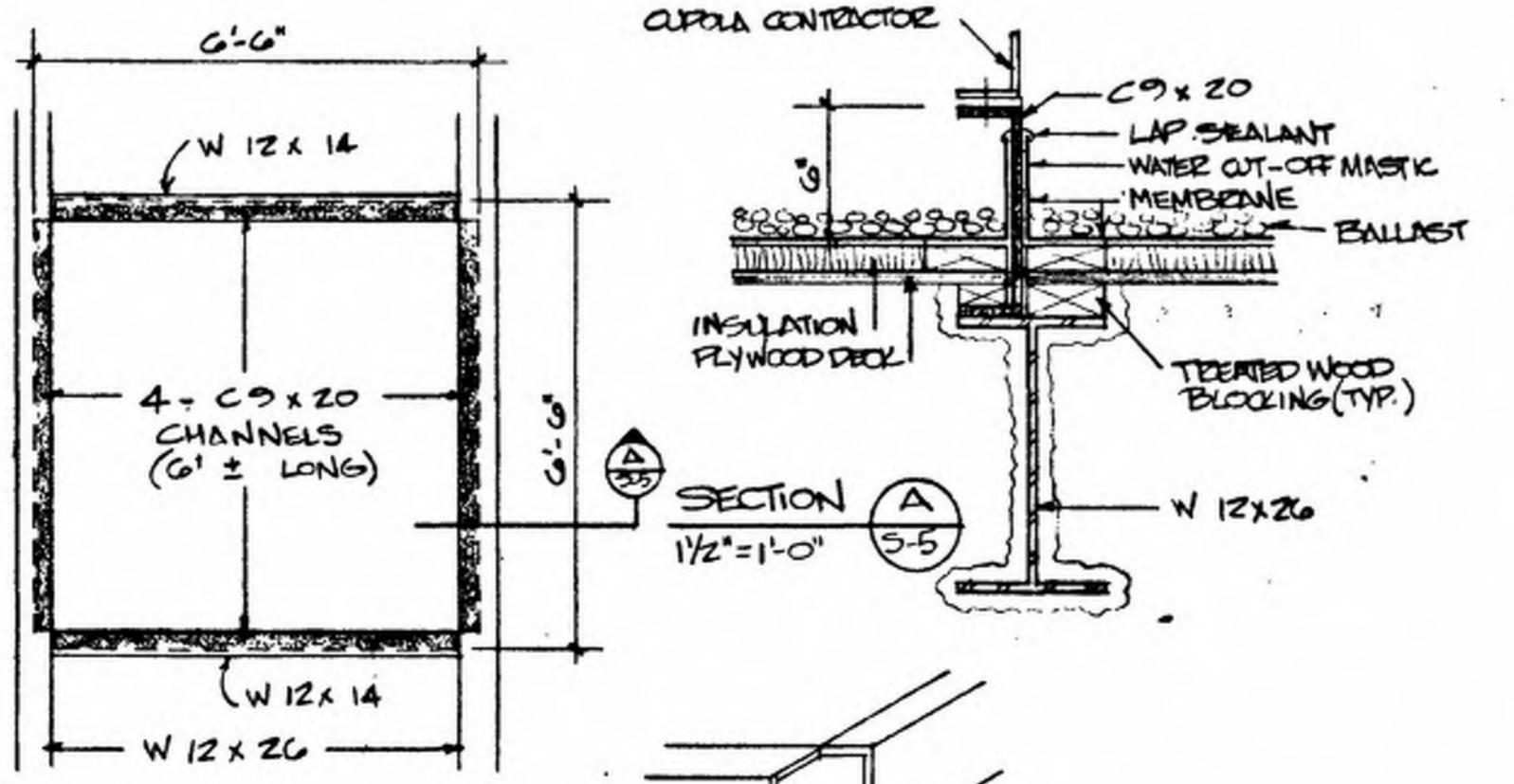
NOTE: SEE ROOF FLASHING DETAILS (ROOF HATCH CORE)



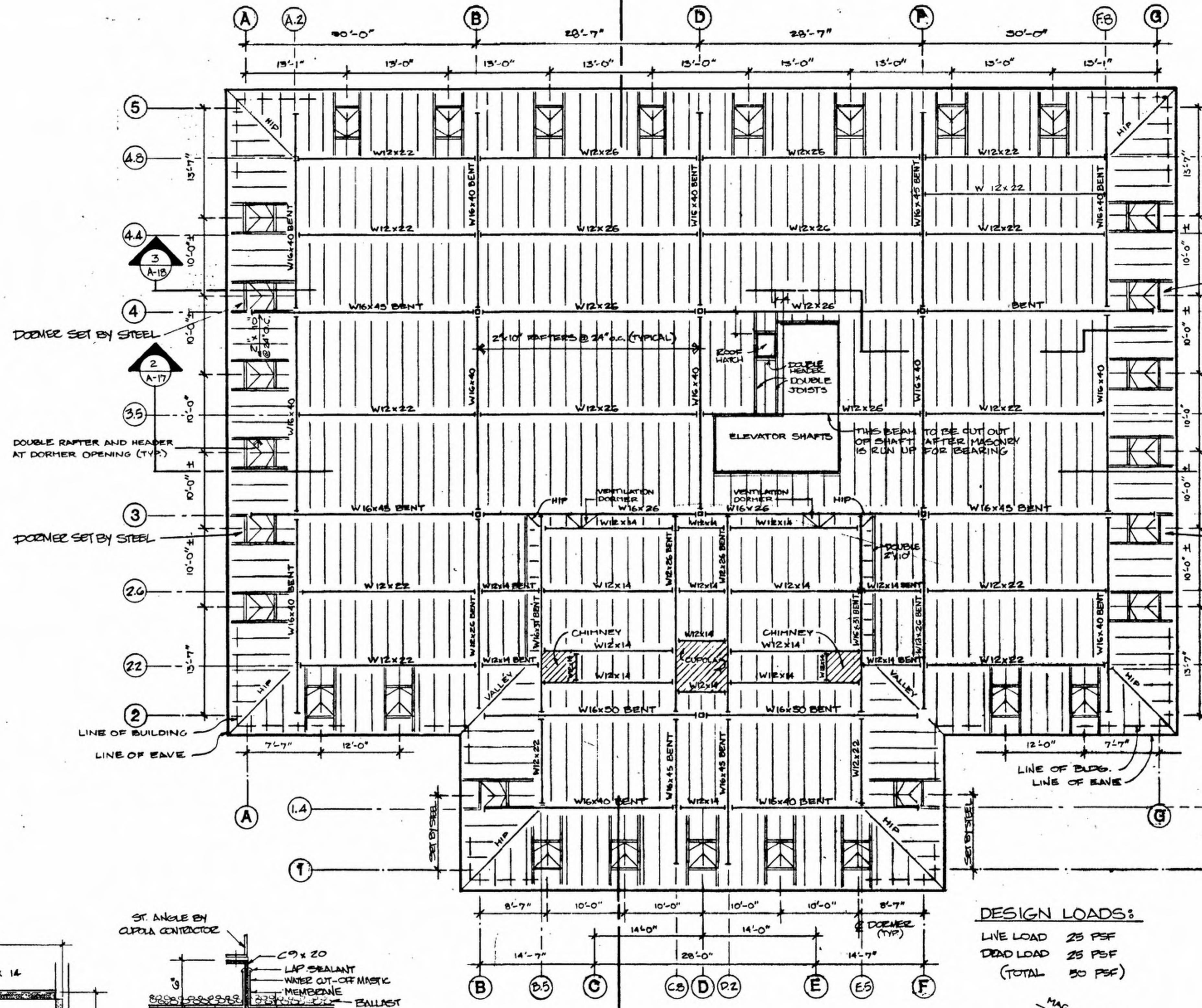
Roof Access Hatch & Ladder Details
NOT TO SCALE



Roof Drain Plumbing Schematic
SEE MECHANICAL DRAWINGS

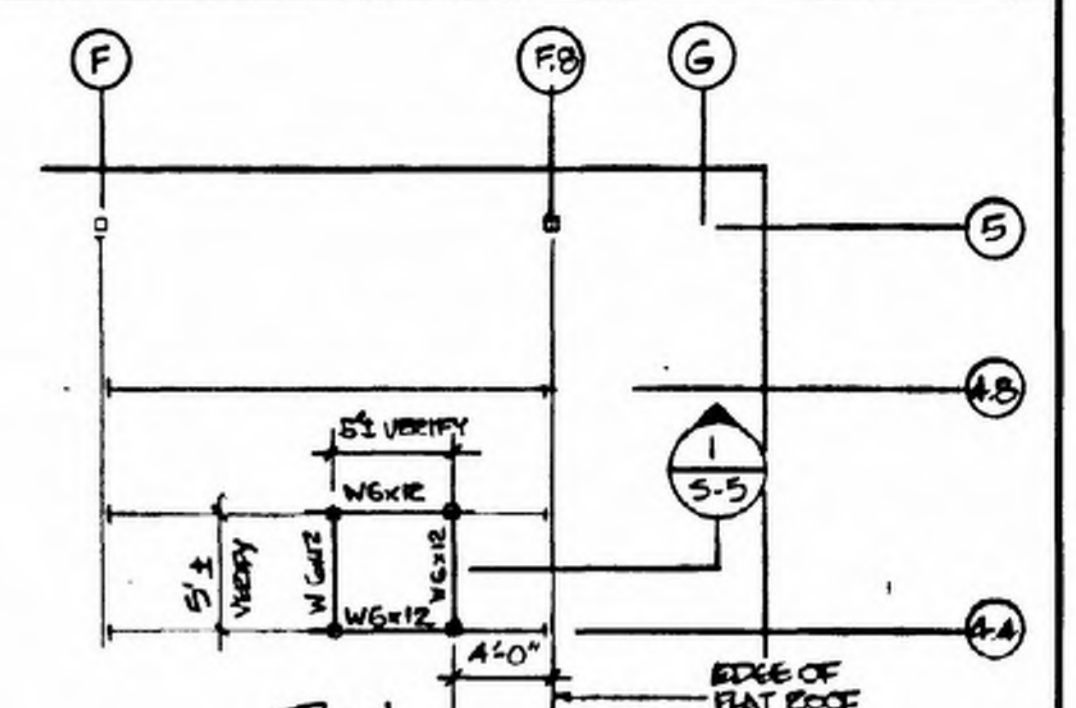


FRAMING PLAN
3/8" = 1'-0"

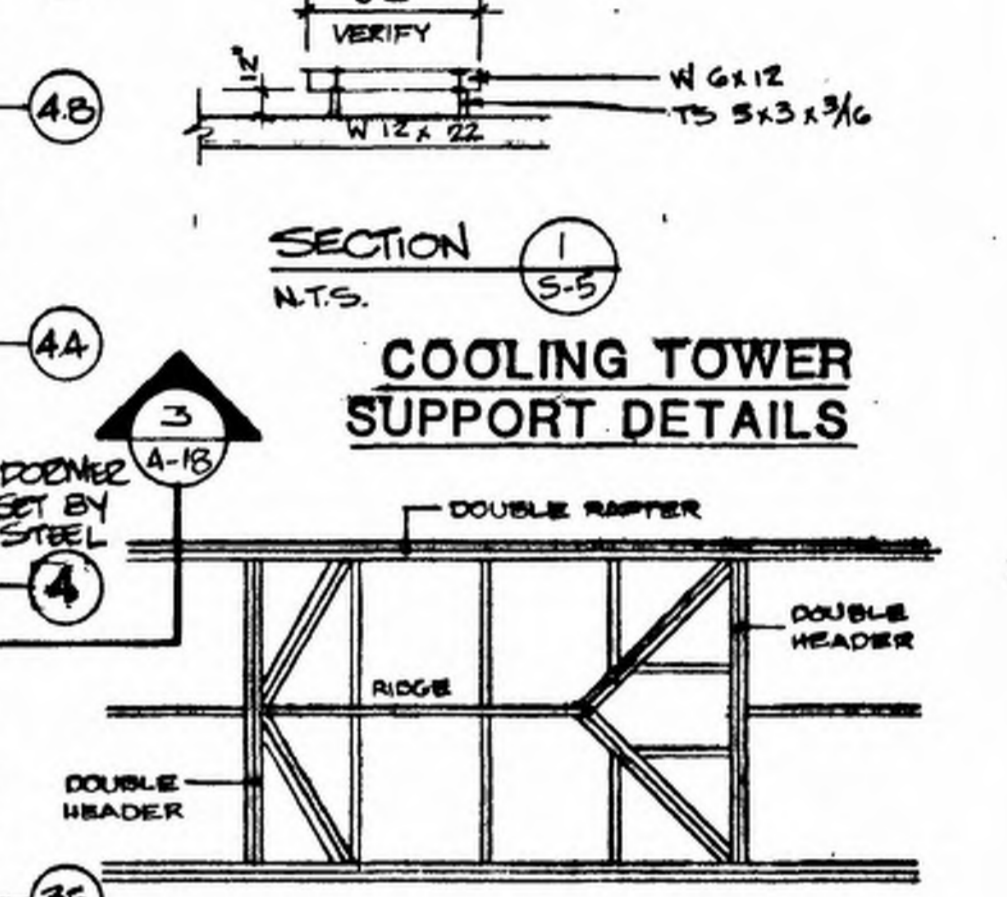


DESIGN LOADS:
LIVE LOAD 25 PSF
DEAD LOAD 25 PSF
(TOTAL 50 PSF)

NOTE: ALL STRUCTURAL STEEL BEAMS SUPPORTING ROOF TO HAVE SPRAVED FIREPROOFING MATERIAL RATED AT 1 HR. U.L. DESIGN NOOS.

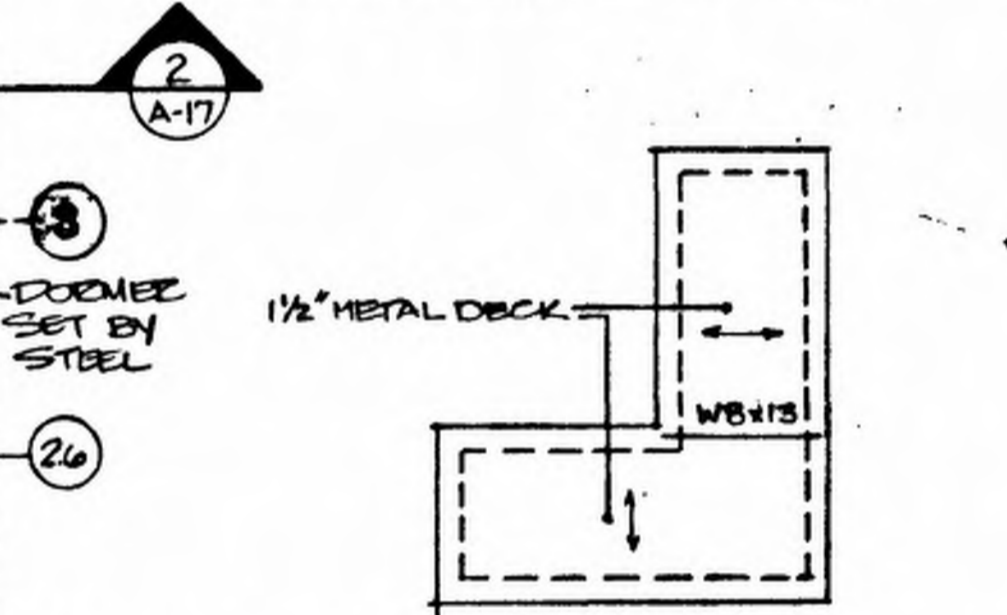


COOLING TOWER SUPPORT DETAILS

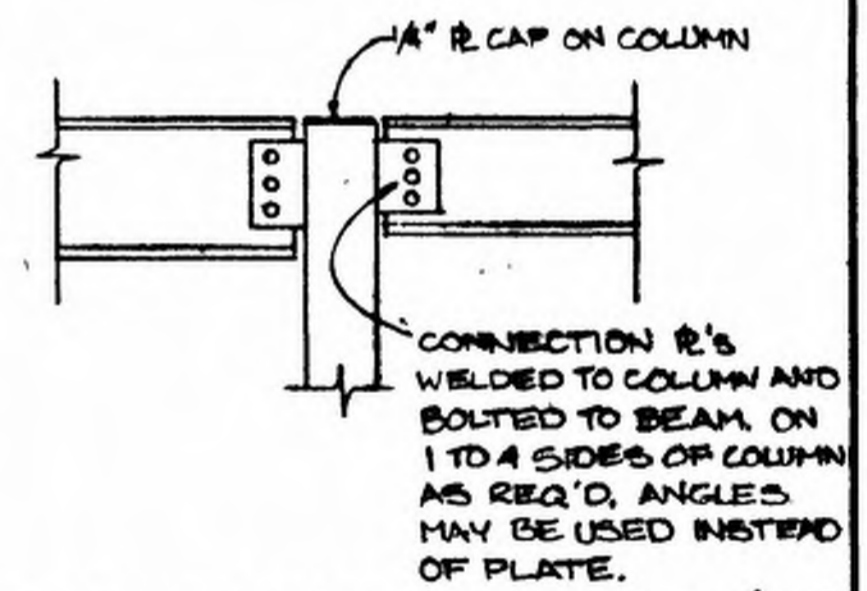


COOLING TOWER SUPPORT DETAILS

DORMER FRAMING PLAN



ELEVATOR SHAFT ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



ROOF LEVEL BEAM-COLUMN CONNECTION (TYP.)
N.T.S.



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SCALE AS SHOWN	APPROVED BY
DATE 4 APRIL 2006	REVISION
ROOF FRAMING PLAN, ROOF HATCH & LADDER, ROOF DRAIN PLUMBING	
PROJECT NO. B223	DRAWING NUMBER 18-5